

# SEVEN HILLS

A MASTER-PLANNED COMMUNITY

## CUSTOM ESTATES DESIGN CRITERIA

(PARCELS J, N-1, N-2, M, & P-1)

# SEVEN HILLS

A MASTER-PLANNED COMMUNITY

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# CUSTOM ESTATES DESIGN CRITERIA

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# SECTION 1

## INTRODUCTION

### 1.1 INTRODUCTION

"Life at the Top" is more than a slogan for the *Seven Hills* Master-Planned Community. Six hundred feet of elevation adjacent to a world-class championship golf course, and distinctive style standards harmoniously magnify the beauty of the surrounding mountain range, making *Seven Hills* the most exciting and appealing new master-planned community in Southern Nevada. Strategically situated in the rolling foothills of the Black Mountain Range, *Seven Hills* is designed to appeal to homeowners who demand a top quality lifestyle that surpasses the notion of an ideal living experience.

The 1,300-acre master planned community is comprised of approximately 25 neighborhoods with a total of 3,600 homes in a variety of price ranges, several neighborhood parks with sports amenities, and miles of interconnecting trails and walkways. The adjacent Rio Secco Golf Course weaves naturally through the rolling desert terrain, and is the setting for up to 260 custom estate homesites. Many of these homesites feature direct golf course frontage and spectacular long range views.

### 1.2 PROJECT LOCATION / CONTEXT

*Seven Hills* is located within the City of Henderson, Nevada, one of the most desirable areas in the entire Las Vegas Valley. Specifically, the community is situated south of St. Rose Parkway (formerly Lake Mead Drive) and west of Eastern Avenue. The rolling, hillside terrain offers spectacular views of the city skyline to the north including the colorful nighttime lights of The Strip, the rugged horizon to the west, and the Black Mountains to the east and south. Please refer to Exhibit 1.

### 1.3 PURPOSE OF THE DESIGN CRITERIA

The purpose of the Design Criteria is to establish the concepts and provide the direction for the expression of the built environment within *Seven Hills*. They are intended to provide an overall framework for future development, achieving a sense of community identity, land use character, scale and sensitivity in the development of *Seven Hills*.

Equally important, an extraordinary expenditure of time, resources, and capital has been used for the development of infrastructure, landscaping and other community improvements which are integral to the creation of a strong sense of identity for *Seven Hills*. The Design Criteria provide the vehicle to protect and maintain the long term quality and value invested in the community. Accordingly, the Design Criteria apply to all construction within *Seven Hills* including but not limited to structures (new construction, remodels, additions and accessory structures), paving, landscaping, utilities, and site amenity features.



As an expression of the master developer's vision for *Seven Hills*, these Design Criteria are intended to provide homeowners and their builders, architects, civil engineers, and others an overall direction in the design process. The criteria contained within the Design Criteria provides examples of ways in which the vision can be achieved, however, the master developer strongly encourages creativity, innovation, and variety throughout *Seven Hills*. Therefore, design proposals may reflect a certain level of flexibility, provided the overall intent of the master developer's vision and Design Criteria is achieved.

The master developer reserves the right to change the Design Criteria without notice.

## 1.4 SUPPORTING DOCUMENTS

The Design Criteria supplement the following documents (but not limited to) which must also be consulted during the design and development of individual parcels or homesites within *Seven Hills*:

- City of Henderson Zoning Code
- City of Henderson Building Codes
- COH PUD/TM Specific Conditions to that Parcel Map
- Master Declaration of Covenants, Conditions and Restrictions and Reservation of Easements for *Seven Hills* (CC&R's)
- Declaration of Covenants, Conditions and Restrictions and Reservation of Easements for The Estates at Seven Hills Owners Association.

The design criteria are subject to interpretation by the master developer. The master developer may amend or augment the Design Criteria to meet specific site or functional requirements of property within the community, consistent with the basic objectives of the master developer.

## 1.5 RESPONSIBILITY OF REVIEW

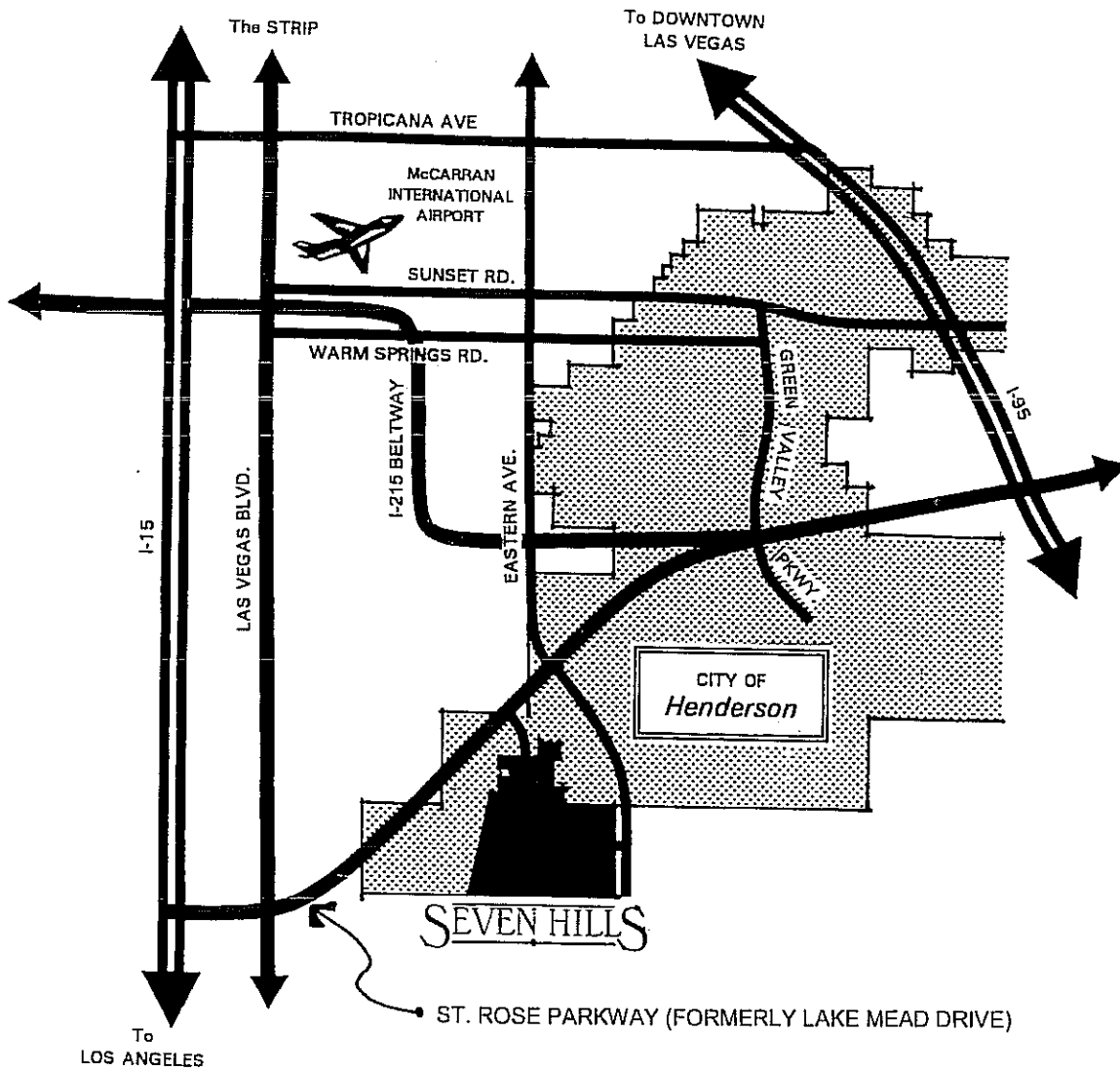
Neither the Board of Directors of *Seven Hills* nor the master developer assume responsibility for plan review of local codes or ordinances. The master developer's purpose in plan review is to ensure that each project meets the intent of the Design Criteria and Declarations. All projects within *Seven Hills* require review and approval by the master developer prior to submittal to the City of Henderson.

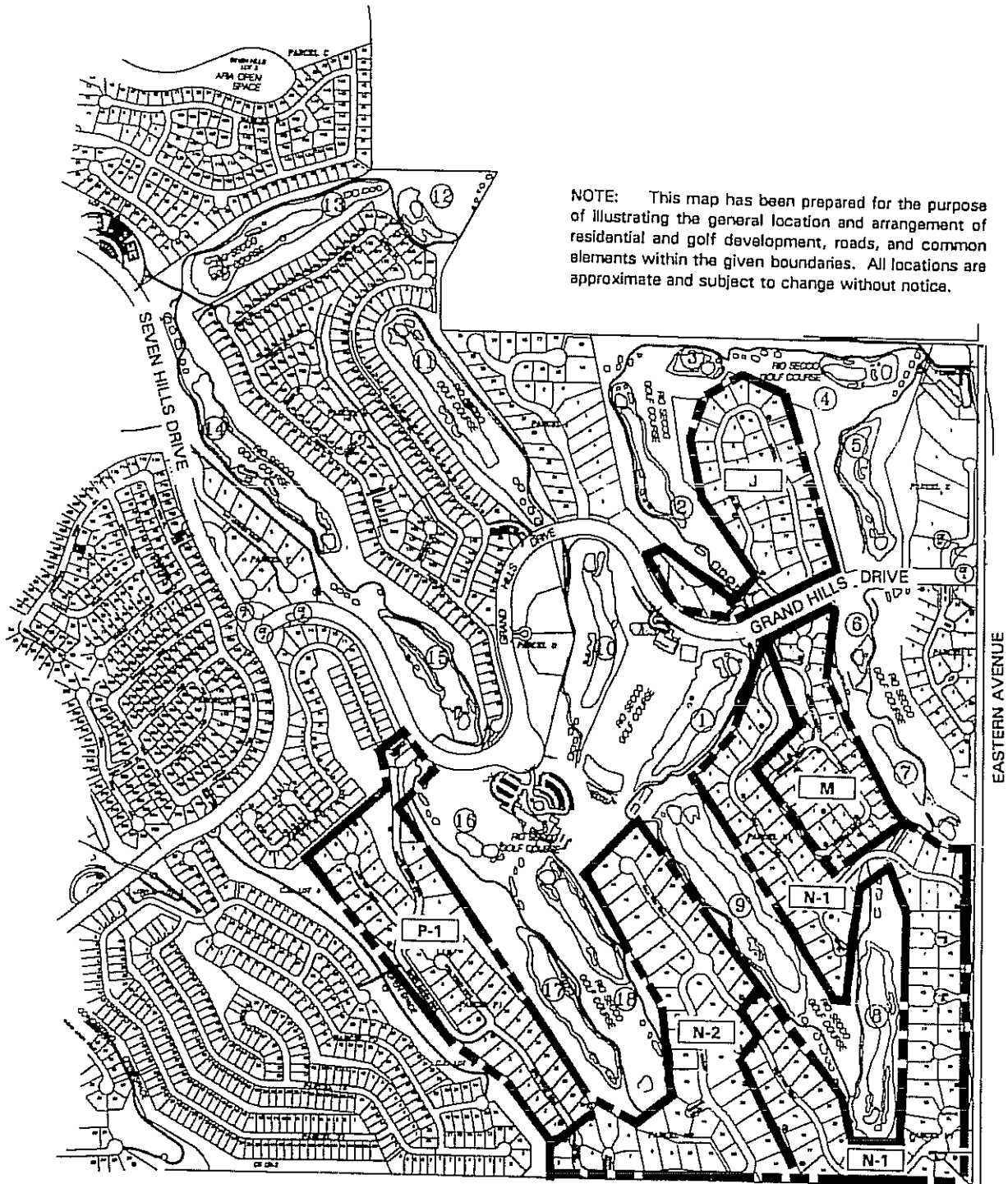
The approval of the Committee is limited as follows:

- The Committee's review and approval of the plans and the Improvements are limited to consideration of whether the aesthetic elements of the Improvements comply with the aesthetic requirements of the Seven Hills Custom Estates Design Criteria. Other than the review of the Plans and Improvements for aesthetic compliance, the Committee does not review or render judgement on the Plans or Improvements for any purpose and specifically

does not evaluate compliance of the Improvements with building code and other legal requirements or evaluate conformance of the Improvements to the soil and geo-technical conditions and other site conditions. The Committee does not verify the site conditions as indicated on the Plans, and the Owner assumes full responsibility to design and construct the Improvements to accommodate all site conditions.

- It is the responsibility of the homeowner to comply with any and all state and local building codes and ordinances that apply to the construction of the custom home and other lot improvements, including the sprinkling of homes that exceed the maximum square footage allowed by the city of Henderson fire code for non-sprinklered residential structures.
- The Committee does not approve, and specifically denies approval, of any portion of the Improvements that do not strictly comply with the Design Criteria unless the submittal specifically highlights all non-conforming elements accompanied by a narrative explanation of the justification for the non-conformity.
- Finally, the Committee reserves the continuing right, but not the obligation, to identify and require correction of any violation of the Design Criteria. The Committee may exercise this right at any time during the construction or following completion of the Improvements or any alterations thereof or additions thereto.





NOTE: This map has been prepared for the purpose of illustrating the general location and arrangement of residential and golf development, roads, and common elements within the given boundaries. All locations are approximate and subject to change without notice.

## SECTION 2

# SITE PLANNING GUIDELINES

### 2.1 INTRODUCTION

The planning of the Custom Estate neighborhoods throughout *Seven Hills* seeks to create small neighborhood enclaves providing a strong sense of identity for each residential area. Significant amounts of open space are integrated into the master plan to define neighborhood edges, while view "windows" are provided at key locations to further accentuate the open character of the community. The small neighborhood identity is further enhanced by the use of curvilinear streets and cul-de-sacs to minimize the effect of traffic upon neighborhood streets.

The following site planning criteria are established to ensure a consistency in the level of quality and image established for the Custom Estate neighborhoods within *Seven Hills*. It includes those identifiable and unifying elements that promote consistency within the neighborhood streetscape, while encouraging variety and innovation through custom home building.

### 2.2 STREET CROSS-SECTION

Streets within the custom neighborhoods will be developed according to either the Standard Cross-Section or the Optional Condition as described below. In either case, the master developer reserves the right to modify the street cross-sections at its sole discretion and without notice.

#### 2.2.1 STANDARD CROSS-SECTION

The standard street cross-section for Parcels J, N-1, M and P-1 is shown on Exhibit 3A. The standard street cross-section for Parcel N-2 is shown on Exhibit 3B. **Unless otherwise noted, all setbacks are to be measured from the back of curb.**

#### 2.2.2 OPTIONAL CROSS-SECTION

In certain conditions, the master developer may reduce the overall street cross-section by eliminating the landscape parkway while maintaining the pavement width of the standard cross-section. **Unless otherwise noted, all setbacks are to be measured from the back of curb.** Please refer to Exhibit 4.

Page Holder for Development Standards Matrix

## 2.3 DEVELOPMENT STANDARDS (PARCELS J, N-1, N-2, M & P-1)

*GOAL: Because of the hillside and golf course orientation of the neighborhoods within Seven Hills, the rear and side appearance of residences are equally important as the front elevation. The following Development Standards, in conjunction with the guidelines discussed in Section 3, ensure that a quality level of articulation will be achieved on all four sides of each residence.*

	SEVEN HILLS CRITERIA	SEVEN HILLS CRITERIA	SEVEN HILLS CRITERIA
	PARCELS J, N-1 & P-1	PARCEL M	N-2
<b>MINIMUM SETBACKS</b>			
FRONT - Living Area From Back of Curb Refer to Exhibits 5	Plates Below 12': 30' Setback  Plates Above 12': 30' Setback, plus an additional 2' for each foot of plate height over 12', except that a setback greater than 40' is not req'd.	Plates Below 12': 25' Setback  Plates Above 12': 25' Setback, plus an additional 2' for each foot of plate height over 12', except that a setback greater than 35' is not req'd.	Plates Below 12': 30' Setback  Plates Above 12': 30' Setback, plus an additional 2' for each foot of plate height over 12', except that a setback greater than 40' is not req'd.
GARAGE From Back of Curb Refer to Ex. 13	Front Entry: 35' Setback Side Entry w/ Plates below 12': 29' Setback	Front Entry: 30' Setback Side Entry w/ Plates below 12': 20' Setback	Front Entry: 35' Setback Side Entry w/ Plates below 12': 29' Setback
NOTE: In order to reduce the visual impact of garages on the streetscene, side entry garages are preferred and encouraged.			
SIDE Refer to Exhibit 5	PARCELS J & N-1 Plates Below 12': 10' Setback Plates Above 12': 10' Setback plus an additional 2' for each foot of plate height over 12', except that a setback greater than 15' is not req'd.  PARCEL P-1 Plates Below 12': 10' Setback Plates Above 12': 10' Setback	Plates Below 12': 5' Min./ 15' Agg. Plates Above 12': 5' Min./ 15' Agg	PARCEL N-2 Plates Below 12': 10' Setback Plates Above 12': 10' Setback plus an additional 2' for each foot of plate height over 12', except that a setback greater than 15' is not req'd.
REAR* Refer to Exhibit 5	Plates Below 12': Min.: 25' Setback	Plates Below 12': 20' Plates Above 12': 20'	Plates Below 12': Min.: 25' Setback

### *Seven Hills*

	SEVEN HILLS CRITERIA	SEVEN HILLS CRITERIA	SEVEN HILLS CRITERIA
	PARCELS J, N-1 & P-1	PARCEL M	N-2
*NOTE: Some lots require greater rear setbacks, subject to the provisions of the purchase agreement.	Avg.: 30' Setback  Plates Above 12': Min.: 25' Setback, plus an additional 2' for each foot of plate height over 12', except that a minimum setback greater than 35' is not required. Avg.: 30' Setback, plus an additional 2' for each foot of plate height over 12', except that an average setback greater than 40' is not required)		Avg.: 30' Setback  Plates Above 12': Min.: 25' Setback, plus an additional 2' for each foot of plate height over 12', except that a minimum setback greater than 35' is not required. Avg.: 30' Setback, plus an additional 2' for each foot of plate height over 12', except that an average setback greater than 40' is not required)  *No structure shall be located within the 25' from the top of slope.  Lots 41 through 45 and 17 through 22 must have a pre-design conference in order to address the rear yard slope.
PORTE COCHERE	Front: 20' Side: 10'	Front: 20' Side: 10'	Front: 20' Side: 10'
PATIO COVERS / 2nd STORY DECKS (Attached to Main Structure)	Plates Below 12': Min.: 25' Setback Avg.: 30' Setback Plates Above 12': Min.: 25' Setback, plus an additional 2' for each foot of plate ht. over 12', except that a min. rear setback greater than 35' is not req'd. Avg.: 30' Setback, plus an additional 2' for each foot of plate height over 12', except that an average setback greater than 40' is not req'd.	Plates Below 12': Min. 15' Setback  Plates Above 12': Min. 20' Setback	Plates Below 12': Setbacks to be determined  Plate Heights above 12': Setbacks to be determined  See "Rear" Yard requirements
ACCESSORY STRUCTURES (Detached Garages Trellises, Cabanas, Sto. Bldgs., Etc.)	Front: 25' Setback Rear: 5' Min. plus 2' for Each foot of plate height over 6'. Side: 5' Setback	Front: 25' Setback Rear: 5' Min. plus 2' for each foot of plate height over 6'. Side: 5' Setback	Front: 25' Setback Rear: 5' Min. plus 2' for each foot of plate height over 6'. (Note 1 applies to Lots 41 through 45) Side: 10' Setback

*Seven Hills*



	SEVEN HILLS CRITERIA	SEVEN HILLS CRITERIA	SEVEN HILLS CRITERIA
	PARCELS J, N-1 & P-1	PARCEL M	N-2
	NOTES: 1. On golf course frontage lots, accessory structures over 48" in height shall not be permitted in the 25' Rear Setback.  2. In all cases, a minimum separation of 10' is required between an accessory structure and the main building on a lot.		
COURTYARD WALL Solid Wall* (32" Max. Ht.) Open Fence* (48" Max. Ht.)	Front: 20' Setback Interior Side: 0' Setback Corner Side**: 5' from back of sidewalk	Front: 20' Setback Interior Side: 0' Setback Corner Side**: 5' from back of sidewalk	Front: 20' Setback Interior Side: 0' Setback Corner Side**: 5' from back of sidewalk
	*Courtyard walls exceeding the height limitations described above shall be subject to the minimum building setbacks for principal structures on the lot. **Including Side Yard Privacy Wall or Fence		
TENNIS COURT Subj. to ARC Apprv'l	10' Setback	10' Setback	
PLAY EQUIPMENT	Front: Not Permitted Rear: 10' Setback Side: 10' Setback	Front: Not Permitted Rear: 10' Setback Side: 10' Setback	Front: Not Permitted Rear: 10' Setback Side: 10' Setback
	On golf course frontage lots, play equipment over 48" in height shall not be permitted in the 25' Rear Setback.		
SWIMMING POOLS AND SPAS	6' Setback	6' Setback	6' Setback
NEGATIVE EDGE POOLS	3' Setback	3' Setback	3' Setback
POOL DECKS	3' Setback	3' Setback	3' Setback
<b>MAXIMUM HEIGHTS</b>			
MAIN RESIDENCE From Finished Slab	30' + a maximum of 25% of roof plan area may extend to 35' at Roof Ridge	30' + a maximum of 25% of roof plan area may extend to 35' a Roof Ridge	30' + a maximum of 25% of roof plan area may extend to 35' a Roof Ridge
PORTE COCHERE	24' to Roof Ridge	24' to Roof Ridge	24' to Roof Ridge
ACCESSORY STRUCTURE	Roofs Less Than 6/12: 10' Max. Plate Roofs Steeper Than 6/12: 8' Max. Plate	Roofs Less Than 6/12: 10' Max. Plate Roofs Steeper Than 6/12: 8' Max. Plate	Roofs Less Than 6/12: 10' Max. Plate Roofs Steeper Than 6/12: 8' Max. Plate

	SEVEN HILLS CRITERIA	SEVEN HILLS CRITERIA	SEVEN HILLS CRITERIA
	PARCELS J, N-1 & P-1	PARCEL M	N-2
	NOTE: On golf course frontage lots, accessory structures over 48" in height shall not be permitted in the 25' Rear Setback.)		
COURTYARD WALLS	32" for Solid Walls 48" for Open Fencing	32" for Solid Walls 48" for Open Fencing	

### REQUIRED FLOOR AREA

SQ. FT. RANGE Exc Gar & Basement	3,000 - 8,500 Sq. Ft.	2,500 - 7,000 Sq. Ft.	3,000 - 8,500 Sq. Ft.
MAX 2nd FLOOR AREA	60% of first floor area (Exc. garages & basements)	60% of first floor area (Exc. garages and basements)	60% of first floor area (Exc. garages and basements)
	NOTES: The intent of this requirement is to ensure that articulation to the overall building mass is achieved so that large "boxy" designs do not overwhelm the streetscene. Exceptions to this requirement are subject to review and approval by the ARC, and will only be considered if the intent of this reqm'nt is successfully achieved.		

### MISCELLANEOUS

REQ'D. GARAGE (Refer to Ex. 13)	Min.: 3-Car Garage	Min.: 2-Car Garage	Min.: 3-Car Garage
	(It is encouraged that no more than 2 Spaces should face the street. The ARC at its sole discretion and approval, however, may allow 3 spaces facing the street as long as the overall intent of the Design Criteria is maintained.)		
ENCROACHMENTS	Architectural elements such as eaves, chimneys, media niches, wall projections, decorative materials, by windows, or similar features may encroach into setback areas a maximum of 2'		
	Mechanical equipment, screening and other similar features may encroach into the setback a maximum of 2'.		

## 2.4 SETBACK EXCEPTIONS

Site improvements on custom lots are to conform to the Development Standards outlined in Section 2.3. The ARC at its sole discretion and subject to its approval, however, may consider setback encroachments on any lot based upon the following criteria:

- a. If strict enforcement of the setback requirement would create an unusual hardship in the improvement of the lot.
- b. If the structure is laid out so that only a minor portion is within the setback encroachment (for example a corner of the structure).
- c. If sufficient landscaping is provided to buffer the encroachment.
- d. If it is not detrimental to surrounding lots, the community streetscape, golf course or open space areas.
- e. Any other condition deemed appropriate by the ARC.

## 2.5 WALLS AND FENCES

### 2.5.1 COMMUNITY WALLS

The use of walls adds to the sense of security and privacy of *Seven Hills*, an important attribute of prestigious residential areas such as *Seven Hills*. A series of distinctive community walls is provided by the master developer along the community boundary, parcel boundaries adjacent to community roadways and common elements, and to define community and neighborhood entries. Individual homeowners may not modify in any way the walls constructed by the master developer.

### 2.5.2 WROUGHT IRON FENCE

A wrought iron fence will be installed by the master developer along the rear of each lot with golf course frontage. Please refer to Exhibit 7 for wrought iron fencing on flat lots. Exhibit 8 shows the wrought iron fencing for lot conditions having a rear slope. In either case, the master developer reserves the right to modify the fence design at its sole discretion and without notice.

The master developer will also install a wrought iron fence at the top of slope on the lots listed below. Please refer to Exhibit 9 for wrought iron fencing for these lots. The master developer reserves the right to modify the fence at its sole discretion and without notice.

- Parcel N-1, Block 2, Lots 16-23
- Parcel P-1, Block 1, Lots 6-13
- Parcel P-1, Block 2, Lots 1-8
- Parcel P-1, Block 3, Lots 10-15

### 2.5.3 SIDE YARD WALL / FENCE (Golf Course Lots)

On lots which feature golf course frontage, the wrought iron fence installed by the master developer returns along the side property line for a distance of 25' ± as shown in Exhibits 7 & 8.

At this point, the wrought iron fence terminates into a *Seven Hills* "thematic" column also built by the master developer. From this thematic column, the homeowner is responsible to install a solid wall in conformance with master developer specifications along the side property line. Finish lot grades must be 5' below the top of wrought iron fences and 6' below the top of property line solid walls or fences. The return wall to the residence shall be setback a minimum of 35' from the back of curb. Only one wall is permitted on a common property line between lots. (Refer to Exh. 5 & 10). The cost of constructing the common property line walls between lots shall be shared by adjacent homeowners in accordance with the provisions of Section 10.13 of the CC&R's.

### 2.5.4 REAR YARD/SIDE YARD PRIVACY WALLS & FENCES (Interior Lots)

On lots which do not have any frontage on the golf course or open space, privacy walls or fences must be constructed on rear and side yard property lines subject to the Development Standards in Section 2.3. Such walls are to be built by the homeowner in conformance with master developer specifications. Finish lot grades must be 6' below the top of rear and side yard privacy walls. (Refer to Exh. 10). The cost of constructing the common property line walls between lots shall be shared by both homeowners in accordance with the provisions of the CC&R's.

### 2.5.5 COMMON PROPERTY LINE PRIVACY WALL / RETAINING WALL

In cases where a custom lot has a lower pad grade than its neighboring lot, the combining of a privacy wall directly on top of a retaining wall along a common property line will not be permitted. Rather, the owner of the lower lot shall be responsible for constructing a terraced retaining wall, when necessary, with a minimum offset of 4' clear planting area from the adjacent common property line wall. (Please refer to Exhibit 11). Terraced retaining walls shall not exceed 4' in height; where added height is necessary, additional retaining walls must be further terraced with a minimum separation of 4' between walls. The maximum height of an individual retaining wall in a terraced condition remains at 4 feet.

Retaining walls on property lines should be of the same design and material as the property line wall. Please refer to Exhibit 11. Other retaining walls that are not located on a property line should be compatible in design and material as the property line wall or the residence located on the lot.

### 2.5.6 COURTYARD WALL / FENCE

The use of front courtyards is encouraged and may be considered for approval by the ARC if it is consistent with the architectural style of the residence. Plant materials should be used to

visually soften courtyard walls and fences. Please refer to Section 2.3 for courtyard wall development standards.

## **2.6 REAR YARD CONE OF VISION**

A "cone of vision" has been established on lots adjacent to the golf course or community open space. This will be accomplished through the use of the wrought iron fencing described in Sections 2.5.2 and 2.5.3, along with site improvement restrictions at the rear corners of each lot adjacent to the golf course or open space. No view easement or view corridor is expressed, guaranteed or intended. Refer to Exhibit 5.

The cone of vision shall be determined by establishing a point 15' from the property corner along the rear property line and another point measured 25' from the property corner along the side property line. The imaginary line connecting these two points forms the cone of vision. Improvements within the first 15' of the cone of vision (as measured from the rear property line) are limited to turf, groundcover, patios, swimming pools, or other low elements less than 12" high. The remaining 10' of the cone of vision along the side property line shall be limited to plant materials or other low elements which do not exceed 30" in height. All such improvements are subject to the Development Standards set forth in Section 2.3. In no case are accessory structures, pool equipment, or air conditioning units permitted within the cone of vision.

## **2.7 COMBINED LOTS**

Two or more adjacent lots may be combined to create a larger single lot. In such cases, the scale of the residence and site planning must be compatible with the adjacent lots. Design standards for combined lots shall be prepared on a case-by-case basis by the ARC.

## **2.8 BUILDING SITING AND ORIENTATION**

The custom estate neighborhoods have been designed to provide a sense of exclusivity to reinforce the overall community character. The siting of a house or structure and its orientation should reflect its functional needs, but should also be sensitive to the individual lots' characteristics, as well as adjacent lots and surrounding community. The siting and three dimensional character of each house should be considered as it relates to views to and from the house, its effect on adjacent lots, and the massing of consecutive lots.

## **2.9 NATIVE DESERT**

Portions of the natural desert has have been preserved along the edge of the golf course. In order to ensure a compatible transition to the homesite, the landscape treatment of yard areas adjacent to the golf course should incorporate plants and other elements which are compatible with

existing desert character of the site. Natural, undisturbed desert vegetation should remain on these lots to promote water conservation and reinforce the desert edges along the golf course.

## **2.10 DRIVEWAY AND PARKING CRITERIA**

### **2.10.1 DRIVEWAY ENTRANCES**

The homeowner is responsible to construct all necessary curb and sidewalk cuts for driveway access. Corner lot driveways may be located no closer than 15' from the curb return of the street intersection.

### **2.10.2 MAXIMUM WIDTH OF DRIVEWAYS**

Single entry driveways must not exceed 18' in width at the curb, and should intersect the street preferably at a right angle, but at a minimum angle of 70 degrees. If a wider driveway is required, the portion in excess of 15' in width must be separated from the remainder of the driveway by a 4' wide (minimum) landscape strip. The maximum driveway approach at the curb shall be 28'. At a point measured at least 10' from the back of sidewalk, the driveway may transition to 32' in width. Dual entry driveways, i.e., circular drives, must not exceed 12' in width at the curb per entrance. Please refer to Exhibit 12.

### **2.10.3 MINIMUM LENGTH OF DRIVEWAYS**

The minimum length of a driveway as measured from the back of curb to the face of a front entry garage must be in conformance with the Development Standards described in Section 2.3.

### **2.10.4 GATES**

The use of ornamental gates is encouraged to enclose a motor courtyard, reducing the visibility of garage doors from the street. Gates must be located a minimum of 20' from the back of curb so that sufficient maneuvering space is available for a vehicle to pull completely off the street to stop at the gate. The design of such gates should be compatible with the architectural style of the adjoining residence.

### **2.10.5 DRIVEWAY MATERIALS**

Driveways are encouraged to be patterned concrete, stone, brick, bomanite, tile, or other similar textured paving materials. The color of driveway materials must be compatible with the architecture of the house and / or the surrounding desert environment. Ordinary concrete is discouraged, however, when used it should feature color, banding, textural embellishment or other similar treatments. Enhanced driveway materials, when used, must stop at the back of sidewalk. The sidewalk and driveway approach apron shall remain standard broom finish concrete.

### **2.10.6 GARAGE PLACEMENT**

Careful consideration should be given to the placement of garages to minimize the impact of garage doors on the street scene.

In order to reduce the visual impact of garages on the streetscene, side entry garages are preferred and encouraged.

Parcels J, N-1, N-2 and P-1 require a minimum three-car garage and it is encouraged that no more than 2 of these spaces should face the street. The ARC at its sole discretion and approval, however, may allow 3 spaces facing the street as long as the overall intent of the Design Criteria is maintained.

Parcel M is required to have a minimum two-car garage. Additional garage spaces are permitted but in such cases, it is encouraged that no more than 2 of these spaces should face the street. The ARC at its sole discretion and approval, however, may allow 3 spaces facing the street as long as the overall intent of the Design Criteria is maintained.

Please refer to Exhibit 13.

### **2.10.7 RECREATIONAL VEHICLE STORAGE**

The storage of recreational vehicles, including but not limited to motor homes, campers, boats, and trailers, is permitted on any lot provided that such vehicles are completely screened from view from any street, golf course, community open space and adjacent lots. The screening of such vehicles is subject to review and approval by the ARC at its sole discretion. Please refer to the CC&R's for further information regarding recreational vehicle storage.

### **2.11 REPAIR OF DAMAGES / COMPLIANCE WITH APPROVED PLANS**

When constructing or permitting construction of improvements on his lot, each homeowner shall be responsible for avoiding damage to streets, curbs, sidewalks, utilities, other lots and the improvements thereon, landscaping and any other improvements that are external to the constructing homeowner's lot. In the event, however, that such construction causes damage, the constructing homeowner shall be financially responsible for all repairs and for any monetary damages associated therewith. The ARC shall have no responsibility for any damage caused by construction on a lot, and the constructing homeowner shall indemnify, defend and hold the ARC harmless with respect to any claims arising out of or related to that construction. Prior to the commencement of any construction activity on a lot, the constructing homeowner shall deliver to the ARC a cash deposit of \$3,000.00 as security for any damage to common elements that the ARC reasonably believes was caused by that construction, and to ensure that all improvements are constructed in accordance with the ARC approved plans. The deposit shall be released to the

constructing homeowner only upon completion of the construction and the determination of the ARC that, to its knowledge, there has been no damage to the common elements, and that all construction and landscaping improvements are in compliance with the ARC approved plans. Each constructing homeowner shall insure that the construction on his lot shall not interfere with any activity on any other lot or within the common elements.

## **2.12 SITE AMENITY STANDARDS**

### **2.12.1 ACCESSORY STRUCTURES**

Accessory structures such as detached garages, equipment enclosures, gazebos, trellises, cabanas, etc., not a part of the principal structure are subject to review and approval by the ARC prior to construction. Please refer to Section 2.3 for setback criteria.

### **2.12.2 SWIMMING POOLS**

Swimming pools are permitted subject to review and approval by the ARC. When allowed, swimming pools, fountains, spas, etc, should be designed to visually connect to the residence through the use of walls or courtyards. Swimming pools, spas, hot tubs, etc., located in front courtyards must meet all setback requirements for courtyard walls as outlined in Section 2.3. The swimming pool and related facilities must adequately fit the lot and should balance the residence and landscape amenities.

All pools must be constructed according to the City of Henderson Regulations and other applicable regulations, including required fence and enclosure heights. Fencing or walls around swimming pools may be combined with property line walls and fencing. Door and gates leading to swimming pools and spas must meet the City of Henderson safety and closure regulations including doors that open directly from the residence to any pool or spa area.

Pool equipment shall be screened from view from streets, adjacent lots, and community open space through the use of a solid wall, landscaping or other screening devices. In no case is pool equipment permitted within the Rear Yard Cone of Vision as described in Section 2.6. Construction access for pool construction shall be determined during the Design Review process.

### **2.12.3 TENNIS COURTS**

Tennis courts are permitted subject to review and approval by the ARC. When allowed, tennis courts should be fenced and sited for minimal visual impact from neighboring residences, streets, golf course or any other public view. The tennis court must adequately fit the lot and should balance the residence and landscape amenities. Crowding of tennis courts, residences and landscape will not be permitted.



Tennis court fencing shall be of a dark vinyl-clad, woven, wire mesh fabric, and shall not exceed ten feet in height. The construction of tennis courts below grade helps to reduce the need for fencing.

Tennis court lighting, if installed, shall be located and directed so that light rays and glare, to the greatest extent practical, do not extend beyond the boundaries of the lot.

#### **2.12.4 SPORTS COURTS**

The location of all hard and soft surfaced dimensioned sport courts, such as basketball, racquetball, volleyball, etc., are subject to review and approval by the ARC at the preliminary review stage.

Sports courts, when used, must be screened to the extent possible from view from neighboring residences, streets, golf course or any other public view. Basketball backboards must be retractable from neighbors' view. All such courts must have a minimum of a 10' setback from property walls to allow for light fixture placement and landscape screening. Lighting, if installed, shall be located, directed and shielded so that light rays and glare to the greatest extent practical, do not extend beyond the lot boundaries.

#### **2.12.5 EXTERIOR RECREATIONAL OR PLAY EQUIPMENT**

All exterior recreational or play equipment such as swing sets, slides, play structures, jungle gyms, tennis courts, sports courts, and other similar equipment must meet the intent and requirements of all sections of the Design Criteria, including color. This type of equipment or structures should be screened from adjacent views to the extent possible through the use of landscaping or other screening devices. The height of this type of equipment is limited to maximum of 2' above the 6' property line fence. Due to the fragile nature of the desert environment, tree houses or other play structures attached to plant materials will not be allowed. Please refer to Section 2.3 for setback criteria for exterior recreational or play equipment. All exterior recreational or play equipment requires specific approval at the preliminary stage by the ARC prior to installation.

#### **2.12.6 SITE FURNISHINGS**

The location of security cameras is subject to approval by the ARC.

Mailboxes and numbers will be installed on each lot by the master developer. Changes to the mailbox design, numbering and / or its location are not permitted. Temporary mailboxes may be provided during construction if requested by the U.S. Postal Service.

### 2.12.7 SIGNAGE

Building mounted individual address identification devices for each approved residence may be installed by the homeowner. Such devices, should be lighted and compatible in design, materials and colors with the adjoining residence.

No additional signage detached from the residence will be permitted, except as allowed by the Declaration and approved by the ARC. Please refer to the Temporary Signage Standards ( a separate document).

### 2.12.8 EXTERIOR LIGHTING

In order to preserve the dramatic views of the city lights and the night sky, which tend to be obscured by excessive local lighting, the following guidelines have been established for residential site lighting. Site lighting is defined as lighting mounted to the any exterior surface of the residence, ground, trees, site walls, fences or any other site feature for the purpose of providing security, decorative accent or functional lighting to outdoor spaces.

- a. Building mounted lighting must be directed downward and away from adjacent lots, streets, golf course and community open spaces. All exterior lighting must provide for significant shielding to ensure that light sources and lamps are not visible from neighboring property; no bare lamps will be permitted.
- b. Site lighting may be directed downward or upward onto vegetation or prominent site features for dramatic effect, but may not be used to light walls or building elements.
- c. Site lighting located on the side of the residence facing the golf course is strongly discouraged and is only allowed subject to approval by the ARC. "Footlights" that are directed down and other down light fixtures that are mounted close to the ground with minimal light output are best suited for this side of the residence.
- d. Lights on motion detectors for the purpose of security illumination are prohibited, unless specific approval is granted by the ARC upon the finding that such lighting will not illuminate adjacent properties. Security lights of any type or locations must still meet the requirement of shielding the light sources, and the light sources shall not be visible from neighboring property. Care must be taken to avoid setting off the motion detector by the motion of vegetation and the movement of wildlife.

### 2.13.9 SATELLITE DISHES / ANTENNAS

The use of satellite dishes and antennas is subject to review and approval by the ARC, subject to the provisions of the CC&R's. Satellite dishes should be screened from neighboring views to the extent possible.

## 2.13 SITE GRADING AND DRAINAGE

### 2.13.1 GENERAL GRADING AND DRAINAGE CRITERIA

The master developer will provide graded pads for the custom lots. In certain locations, the custom lot may be conveyed with a manufactured slope at the rear of the lot. In all cases, finish grading to accommodate individual site development shall be the responsibility of the homeowner. In addition, it shall be the homeowner's responsibility for meeting existing grade at all perimeter property lines, and any lot grading shall maintain smooth slope transitions between the graded pads and surrounding development or open space. Finish grade in the Cone of Vision must be contiguous to adjacent property. Please refer to Section 2.6 for more detailed information regarding the Cone of Vision requirements.

In order to provide the opportunity for level changes within the main floor of the residence or patio and terrace areas, portions of the original pad grade as established by the master developer may be raised or lowered a maximum of 2' to accommodate such architectural and site improvements. The cost of such additional grading is the responsibility of the homeowner. The finish grade of the remaining portions of the lot must maintain the original pad grade established by the master developer. The maximum height above finish grade for a patio or deck is 6", unless it is located a minimum of 15' from any property line, in which case the finish grade may be raised a maximum of 2'.

Careful consideration must be given to the following to ensure that grading operations result in a minimum of disturbance to the site, neighboring lots, golf course and / or open space areas.

- a. Grading and other lot improvements shall not negatively impact the golf course with dust, over-sprays, over-excavation, trespass, noise or other similar construction activities.
- b. No change in the existing drainage patterns for surface water shall be made on any lot that could adversely affect another lot, golf course and / or open space areas. All pad drainage must be directed toward the street at the front of the lot. On lots adjacent to the golf course that have master developer installed manufactured slopes at the rear of the lot, only "B" drainage from the sloped area is allowed to drain toward the golf course. No pad drainage is allowed over the top of the slope.
- c. Where grading is unavoidable, careful consideration should be given to the impact to the appearance of the surrounding landscape. The following measures should be used to minimize negative visual effects of site grading, including:
  1. Exposed escarpments shall not exceed 2:1 in slope. In order to provide a natural appearance to such escarpments, the slopes should be varied (2:1, 3:1, 4:1 & 5:1) providing an undulating appearance.

2. Smooth transitions between escarpments and existing topography are required at the top and toe of such slopes by rounding the transition areas.
3. Disturbed areas should be reshaped to a natural appearance to the extent feasible.
4. Disturbed areas should incorporate erosion control measures such as landscaping, rip rap, or other similar techniques, as approved by the ARC.
5. The grading of an individual homesite should respect the existing drainage conditions of the lot.

### 2.13.2 SITE RETAINING WALLS

The use of retaining walls may be necessary in certain graded conditions, and shall not exceed 4' in height. Where added height is necessary, additional retaining walls must be terraced with a minimum separation of 4' between walls to allow for adequate landscaping. The maximum height of an individual retaining wall in a terraced condition remains at 4 feet. Please refer to Exhibit 14. Retaining walls should be constructed of a material that is compatible with the architecture of the residence, or with a material that is integral to the natural desert landscape features.

### 2.13.3 RETAINING WALLS AT COMMON PROPERTY LINES

In cases where a custom lot has a lower pad grade than its neighboring lot, the combining of a privacy wall directly on top of a retaining wall along a common property line will not be permitted. Rather, the owner of the lower lot shall be responsible for constructing a terraced retaining wall, when necessary, with a minimum offset of 4' clear planting area from the adjacent common property line wall. (Please refer to Exhibit 11). Terraced retaining walls shall not exceed 4' in height; where added height is necessary, additional retaining walls must be further terraced with a minimum separation of 4' between walls. The maximum height of an individual retaining wall in a terraced condition remains at 4 feet. The retaining wall should be compatible in design and material as the property line wall or the residence located on the lot.

# SECTION 3

## ARCHITECTURAL DESIGN GUIDELINES

### 3.1 INTRODUCTION / ARCHITECTURAL STYLE

While the overall architectural character of *Seven Hills* is described as Italian Renaissance and Spanish Eclectic, the custom estates neighborhoods are encouraged to feature a wider variety of architectural styles. This will ensure a sense of individuality and enhance the exclusivity of the custom estates. However, the design of the home must remain true to the traditional interpretations of the style selected. Homeowners are encouraged to use the services of a professional architect or residential designer for the design of the residence. The conceptual architectural guidelines described below, establish the framework to achieve a certain level of harmony and compatibility, while providing the flexibility to create variety in the architectural expression of individual homesites.

### 3.2 FLOOR AREA

	Parcels J, N-1 & P-1	Parcel M	Parcel N-2
TOTAL FLOOR AREA (Excluding Garages & Basements)	3,000 - 8,500 Sq. Ft.	2,500 - 7,000 Sq. Ft.	3,000 - 8,500 Sq. Ft.
MAX. 2nd FLOOR AREA (As % of First Floor Area, excluding Garages and Basements)	60%*	60%*	60%*

\* The intent this requirement is to ensure that articulation to the overall building mass is achieved, so that large "boxy" designs do not overwhelm the streetscene. Exceptions to this requirement are subject to review and approval by the ARC, and will only be considered if the intent of this requirement is successfully addressed.

### 3.3 COMBINED LOTS

Two or more adjacent lots may be combined to create a larger single lot. In such cases, the scale of the residence and site planning must be compatible with the adjacent lots. Design standards for combined lots shall be prepared on a case-by-case basis by the ARC.

### 3.4 CUSTOM HOME

To ensure the individuality and exclusivity of the custom home neighborhoods, it is essential that each residence be a "true" custom designed home, unique to the lot upon which it is located.

### 3.5 ARCHITECTURAL COMPONENTS

The architecture of a building can be broken down into three major components, including 1) Building Facades, 2) Roofs, and 3) Architectural Features & Accents. The proper design treatment of these three components will result in a visually pleasing structure. The following is a general description of how each of these components should be addressed to ensure their successful application throughout the custom lot neighborhoods.

BUILDING FACADES	ROOFS	ARCHITECTURAL FEATURES / ACCENTS
<ul style="list-style-type: none"> <li>▪ FORM / MASS</li> <li>▪ SHADOW OPENINGS</li> <li>▪ MATERIALS / TEXTURE</li> </ul>	<ul style="list-style-type: none"> <li>▪ ROOF PITCH</li> <li>▪ OVERHANGS</li> <li>▪ MATERIALS</li> </ul>	<ul style="list-style-type: none"> <li>▪ ACCENT WINDOWS / DOORS</li> <li>▪ PORCHES / DECKS / PATIOS</li> <li>▪ FENCES / WALLS</li> <li>▪ ACCENT COLOR / TEXTURE</li> </ul>

**GOAL:** *Because of the hillside and golf course orientation of the neighborhoods within Seven Hills, the rear and side appearance of residences are equally important as the front elevation. The following guidelines, in conjunction with the Development Standards outlined in Section 2, ensure that a quality level of articulation will be achieved on all four sides of each residence.*

### 3.6 BUILDING FACADES

- a. Buildings should be carefully designed to ensure that they are well-scaled to the size of the homesite upon which they are located.
- b. The general character of each custom home should reflect a neighborhood scale in which the massing of the residence does not overwhelm the street scene along the front, or the golf course along the rear of the homesite.
- c. The building setbacks specified in Section 2 are minimum requirements. It is strongly encouraged for the design of individual homes to provide articulation of building masses on all four sides of the residence to provide visual interest to the street scene as well as the golf course. Articulation to the side setback will further enhance the character of the neighborhood by increasing the distance between residences on adjacent lots.
- d. Building facades should incorporate elements which promote a high quality custom feel through the use of porches, balconies, courtyards, architectural details which are compatible with the architectural style of the residence.

- e. Building materials should be selected which are consistent with the architectural style of the residence. The use of lace stucco is not permitted.

### 3.7 ROOFS

- a. An articulated roofscape should be created throughout the custom estates neighborhoods. Informal plan types should use a variety of roof forms to achieve an articulated roofscape, while formal plan types may use less articulated roof forms.
- b. Roof pitches should be consistent with the architectural style of the building.
- c. Flat roofs, when used, should be surrounded by parapets a minimum of 10" up to a maximum of 36" above the adjacent plate line. Parapets must return and end in an intersection with a building mass.
- d. Roof materials should be compatible with the architectural style of the building, using authentic materials where possible, such as concrete or clay tiles. Prohibited roof materials include low profile "S" tiles, composition asphalt shingles, and wood shingles or shakes.
- e. Roof materials should have a matte finish to minimize glare.
- f. Skylights are permitted, but must be designed as an integral part of the roof. Skylight framing material must be colored to match the adjacent roof surface. Skylight glazing must feature non-glare surface; reflective glazing is prohibited. No "bubble" skylights will be allowed.
- g. Solar panels, when used, are subject to design review and approval by the ARC. Solar panels should be compatible with the design of the roof and should not be visible from any street, golf course or other community open space to the extent feasible. Pipes and other mechanical apparatus used in conjunction with solar panels, must be painted to match the color of the surface to which it is attached.
- h. The color of solar screens, when used, shall match that of the grids, and should blend to the extent feasible with the overall roof. Dark colors may be used for solar screens and grids as long as they are maintained.
- i. Mechanical equipment such as air conditioners, heaters, evaporative coolers, and other such devices shall not be permitted on any roof. Mechanical devices such as exhaust fans, vents and pipes shall be minimized and painted to match the adjacent roof surfaces.
- j. Ground mounted air conditioning units shall be screened through the use of landscaping or other screening devices.

### 3.8 ARCHITECTURAL FEATURES / ACCENTS

#### 3.8.1 COLUMNS AND ARCHWAYS

- a. The use of columns and archways adds articulation to the character of the residence and are encouraged where appropriate to the architectural style. Columns and archways should be scaled appropriately to provide a sense of strength and support which is compatible with the architectural style of the residence.

#### 3.8.2 PATIOS

- a. The maximum height above finish grade for a patio or deck is 6", unless it is located a minimum of 15' from any property line, in which case it may be raised a maximum of 2' above the original pad grade established by the master developer.
- b. Patio decks visible from major streets or community open space shall have a minimum 30" high solid opaque lower element.
- c. The use of patio covers designed as an integral architectural element provides an excellent opportunity to enhance the articulation of the building facades, particularly along rear elevations. In addition, patio covers offer the ability to feature 2nd story decks taking advantage of long range views and providing further architectural articulation.
- d. The roof treatment of patios covers and 2nd story decks should be consistent in design, materials, and color as the residence. Aluminum patio covers are permitted, but must have the appearance of wood, must have a baked-on enamel finish, and must be 100% UV resistant. If used, aluminum patio covers must have a fascia element concealing the scalloped ends of the aluminum roof elements. In addition, the top of such aluminum patio covers must be covered in such a manner as to have a wood grain appearance. Visible scalloped conditions are not permitted. Alumalattice manufacturer's brochure, or similar, must be submitted for ARC review.

#### 3.8.3 TRELLISES, LATTICES, ARBORS & GAZEBOS

- a. Trellises, lattices, arbors and gazebos enhance nearly all architectural styles and provide articulation to the residential architecture. When used, they must be designed to be at least 50% open, colored to be compatible with the residence, and constructed to maintain their appearance considering the desert climatic conditions of *Seven Hills*. Aluminum trellises, lattices and other similar elements are permitted, but must have the appearance of wood, must have a baked-on enamel finish, and must be 100% UV resistant.



### 3.8.4 WINDOWS

- a. The style of windows should be compatible with the architecture of the residence. The size and proportion of panes should correspond to the overall proportioning of the elevation. The use of many different styles of windows on one building plane should be avoided.
- b. Accent windows should be used, on a limited basis, as an accent element to create interest on building elevations.
- c. At a minimum, there must be a consistent level of detailing on all four sides of the residence, such as fully trimmed windows, the use of more detailed headers and sills only, or other methods of articulation subject to approval by the ARC.
- d. The following are not permitted in the design of windows on residences within *Seven Hills*.
  1. Pre-manufactured standard gray mill finish aluminum windows.
  2. Mirrored reflective glass.
  3. Metal roll-up window coverings on the exterior of windows.

### 3.8.5 WALLS AND FENCES

- a. Walls and fences which are visible from streets, open space, or other public areas, should be compatible in material, color, and design with adjacent architectural elements.

### 3.8.6 GARAGES

- a. Careful consideration should be given to the placement of garages to minimize the impact of garage doors on the street scene.
- b. Where three garage spaces are required or provided, it is encouraged that no more than two of these spaces should face the street, with the third space being a turn-in condition or otherwise designed to minimize its visibility to the street. The ARC at its sole discretion and approval, however, may allow 3 spaces facing the street as long as the overall intent of the Design Criteria is maintained. Please refer to Exhibit 13.

### 3.8.7 CHIMNEYS

- a. All chimneys, regardless of the architectural style of the residence must have a chimney cap. Exposed metal flues are not permitted.

- b. Chimneys should be simple in design and consistent with the architectural style of the residence.

### **3.8.8           DETAIL ELEMENTS**

- a. Detail elements such as shutters, exposed rafter ends or cross beams, minimal decorative grille work, or other similar features should be used to provide visual interest to the residence. Such details should be consistent with the architectural style of the residence. Exposed gutters and downspouts used as architectural features should be colored to match the roof or wall material. Iron bars (other than decorative grille work) are not permitted on windows or doors.

### **3.8.9           COLORS**

- a. The color(s) selected for buildings should support the architectural character of the residence. The extensive use of bright vibrant colors is discouraged, although accent colors may be used for doors, windows, architectural trim and elements such as shutters, awnings, exposed beams and rafters, and other similar features on a limited basis.
- b. Color selections should have Light Reflective Value (L.R.V.) ratios within the range of 35% to 75%.

### **3.8.10          ACCESSORY STRUCTURES**

- a. Please refer to Section 2.3 for setback and building separation requirements for accessory structures.
- b. Accessory structures include any building or structure which is totally detached from the principal residence, such as detached garages, casitas, equipment enclosures, gazebos, trellises, cabanas, etc.
- c. Accessory structures should be located and designed to be compatible with and complement the design and form of the principal residence. The use of landscaping is encouraged to soften the appearance of these structures.
- d. Any ancillary structure should be located and designed to respect the views, privacy, and other aspects of the adjacent homesites.
- e. On golf course or interior lots with wrought iron fencing on the rear property line, no structure over 48" in height measured from the original finish grade of the lot will be allowed within the rear 25' of the rear yard.

**3.8.11 BASEMENTS AND SUBTERRANEAN GARAGES**

- a. Basements and/or subterranean garages are permitted, subject to review and approval by the ARC. Such spaces must be located within the building setback, including any exterior stairs.
- b. The height of buildings which have completely subterranean basements shall be measured from the top of the 1st floor slab in accordance with Section 2.3 and Exhibit 6. Any exposed basement walls, such as on sloping lots, shall be considered part of the building mass and subject to the building height requirements of Section 2.3.
- c. Any exposed wall surfaces must be finished in a manner which is consistent with the other wall surfaces of the building.
- d. Industry standard excavation procedures for the construction of basements shall be limited to the use of hoe rams, or other methods subject to the approval of the ARC. Blasting is not permitted for the construction of basements.

**3.8.12 AWNINGS**

- a. The use of awnings add articulation to the character of the residence and are encouraged where appropriate to the architectural style. The design, location, and color of awnings are subject to ARC review.
- b. Cloth awnings must be maintained in their original condition.

## SECTION 4

# LANDSCAPE ARCHITECTURAL DESIGN GUIDELINES

### 4.1 INTRODUCTION / LANDSCAPE CHARACTER

#### 4.1.1 LANDSCAPE INTRODUCTION

The intent of the landscape design is to create a unique theme by incorporating a rich palette of arid region plant materials arranged in bold, naturalistic patterns. Streetscapes will emphasize shade to create an inviting and aesthetically pleasing environment. The palette and patterns shall complement the setting, topography, architectural character and the adjacent Seven Hills streetscape for each project

The Seven Hills streetscapes incorporate large, spreading desert shade trees and flowing shrubs and ground cover masses which are composed of materials selected to provide a year-round flowering cycle. Significant masses of yucca and grass species are also incorporated into the streetscape to enhance the regional character. Parcel developers are encouraged to incorporate the streetscape character and palette into individual projects thus achieving a seamless relationship between streetscape and parcel landscapes.

#### 4.1.2 LANDSCAPE THEMES

##### General

Plant materials must be tolerant of the Las Vegas climate, in particular the seasonal cold and wind conditions. Seven Hills uses a mixture of two landscape themes. Each landscape theme has a distinct character and, if used properly, will complement the different architectural styles created for these projects. The two landscape themes are as follows:

##### Arid Oasis

Arid Oasis landscape is made up of lush green, and colorful plant material that is typically not drought tolerant, yet tolerant of the desert climate. This theme requires irrigation and typically contains turf, trees and shrubs. The rich colors and cool inviting character created by the plant materials in this zone provide a pleasant, consistent contrast to the surrounding arid environment. Parkway landscape will be required in custom lot communities.

##### Arid Garden

The arid Garden landscape is made up of plant materials commonly found in both the native southwest desert environments and ornamental desert oasis that are particularly rich with color and texture. The arid garden ground plane consist of gravel mulch or decomposed granite

with a high percentage of organic ground plane coverage through the use of ground cover plants and shrubs. This landscape is used to provide color and transition between the natural and enhanced desert and the lushness of the oasis zones with a reduced irrigation requirement.

#### 4.1.3 PLANT QUALITY AND COVERAGE

##### Quality and Size

All plant material shall be nursery grown, free of disease, of good growing habit, and representing the best qualities of their species. Minimum sizes for spread, height and caliper shall be as recommended by the Arizona Nursery Association standards.

##### Minimum Coverage

Landscaping of individual lots or parcels shall meet the minimum coverage requirements within the first year after installation. Massed shrubs and ground cover beds are encouraged along with minimal, but usable turf areas. See table A-2.

#### 4.1.4 STONE MULCH AND COBBLE TREATMENT

##### Mulch Treatment

All shrub and ground cover areas shall be covered with a top dressing of decomposed granite or gravel mulch. Bare ground is not permitted. Parcel developers are encouraged to use different sizes of one gravel mulch color. In general, mulches ranging from 3/8 inch diameter to 3/4 inch diameter are appropriate. Larger sizes can be used for accent areas within the yard and on steep slopes.

A maximum of two gravel mulch colors may be used within a parcel. The two colors must be closely related and create a harmonious ground plane when used adjacent to each other. Mulch color should be strong in character so as to create a finished appearance. Recommended colors to be in the following tones, Red, Peach and Gold (NO WHITE ROCK WILL BE ALLOWED).

##### Cobbles and Boulders

2. Larger granite cobbles in a 6 inch to 12 inch range with 15% oversize material and/or boulders may be used for accents, such as dry streams and focal points. Plantings and boulder outcrops may be integrated into the cobbles for effect. The color of these larger rocks should be the same as, or complementary to, the gravel mulch used. Boulders shall be of select surface quality and shall be buried a minimum 1/3 their overall depth. Scarred material shall receive a chemical treatment to restore the natural varnish.

#### 4.1.5 SLOPE STABILIZATION

##### General

All manufactured slopes shall be landscaped and/or seeded after grading for erosion control in accordance with landscape plans approved by Seven Hills.

Paving or soil cementing of any slope is prohibited except for drainage crossings.

#### 4.1.6 PLANT MATERIALS LIST

The following plants are approved for use in all parcels at Seven Hills. The zone key indicated which landscape zone or zones the plant is most suited for, including: Arid Oasis (O), Arid Garden (G) and/or Parkway Trees (P). This list includes some plants that may be of borderline hardiness in the Seven Hills area due to cold tolerance, soil conditions or other special microclimatic needs. Parcel developers should review the use of all plants with the knowledgeable professional or appropriate reference material. Plants not on the list must be submitted to the Seven Hills Review Committee for approval.

**TABLE A-1  
PLANT LIST**

##### A. Large Trees

O	Fraxinum oxycarpa "Raywood"	Raywood Ash
O, P	Fraxinus velutina	Fan Tex Ash
O	Fraxinus species	All Ash Trees
O	Gleditsia triacanthos "Imperial"	Imperial Honey Locust
O	Gleditsia triacanthos "Shademaster"	Shademaster Honey Locust
O	Pistacia chinensis	Chinese Pistache
O	Platanus acerifolia	London Plane Tree
O	Quercus fusiformis	Escarpment Live Oak
O	Quercus ilex	Holly Oak
O	Quercus muhlenbergii	Chinquapin Oak
O	Quercus virginiana	Southern Live Oak
O	Quercus virginiana "Heritage"	Heritage Oak
O	Rhus lance	African Sumac
O	Ulmus parvifolia sempervirens	Evergreen Elm
O	Zelkova serrata	Japanese Zelkova

**B. Accent Trees**


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G	Acacis aneura	Mulga Tree
G	Acacia smallii	Swee Acacia
O,G	Albizia julibrissin	Mimosa / Silk Tree
O	Brachychiton populneuo	Bottle Tree
O	Cercidium floridum	Blue Palo Verde
O,G	Chilopsis linearis (varieties)	Desert Willow
O,G	Chitalpa tashkentensis	Chitalpa
O	Feijoa sellowiana	Pineapple Guava (36" box min)
O	Koelreuteria paniculata	Golden Rain Tree
O	Lagerstroemia indicao	Crape Myrtle
O	Ligustrum lucidum	Glossy Privet
O	Magnolia grandiflorao	Magnolia
O,G	Olea europaea "Swan Hill"	Swan Hill Olive
O,G	Olea europaea "Wilsonii"	Wilson Olive
O	Podocarpus macrophyllus	Japanese Yew Pine
G	Prosopis species	Mesquite
O	Prunus cerasifera hybrids	Flowering Plum
O	Pyrus calleryana "Bradford"	Bradford Pear
O	Quercus ilex	Holly Oak
O,G	Vitex angus-castus	Chaste Tree

**C. Coniferous Trees**


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O,G	Cupressocyparis leylandii	Leyland Cypress
O,G	Cupressus semperivrens	Italian Cypress
O,G	Cupressus glabra	Smooth Arizona Cypress
O,G	Pinus roxburgli	Chir Pine
O,G	Pinus brutia eldarica	Mondell Pine
O,G	Pinus halepensis	Aleppo Pine
O,G	Pinus monophylla	Single Leaf Pine
O,G	Pinus pinea	Italian Stone Pine

**D. Palms**


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O	Arecastrum roman zoffianum	Queen Palm
O	Chamaerops humilis	Mediterranean Fan Palm
O	Cycas revoluta o	Sago Palm
O	Phoenix dactylifera	Date Palm
O	Trachycarpus fortunei	Windmill Palm
O	Washingtonia filifera	California Fan Palm
O	Wahsingtonia robusta	Mexican Fan Palm

**E. Shrubs**


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O,G	Berberis thunbergii	Japanese Barberry
O	Buxus microphylla japonica	Japanese Boxwood
O,G	Ceasalpinia gilliesli	Yellow Bird of Paradise
O	Caesalpinia pulcherrima o	Red Bird of Paradise
O,G	Cassia species	Feathery Cassia
O	Cotoneaster species	Cotoneaster
O,G	Elaeagnus ebbingei	Ebbing Silverberry
O,G	Elaeagnus pungens	Silverberry
O	Euonymus japonica	Evergreen Euonymus
O	Feijoa sellowiana	Pinapple Guava
O	Ilex cornuta "Burfordii" o	Burford Holly
O	Ilex vomitoria	Yaupon
O,G	Juniperus species	Juniper Species
O	Lagerstroemia indica o	Shrub form Crape Myrtles
G	Larrea tridentata divericata	Creosote Bush
G	Leucophyllum speicies	Texas Ranger
O	Ligustrum japonica	Waxleaf Privet
O	Ligustrum lucidum	Glossy Privet
O	Myrtus comunis 'Compacta'	Dwarf Myrtle
O	Nandina domestica o	Heavenly Bamboo
O	Photinia fraseri	Fraser's Photinia
O	Pittosporum tobira	Mock Orange
O,G	Pyracanthus species	Pyracantha / Firethorn
O	Raphiolepis indica	India Hawthorn
O,G	Rhus ovata	Sugar Bush
O,G	Rhus viren	Evergreen Sumac
O,G	Rosmarinus officinalis	Rosemary
O,G	Salvia greggii	Texas Reg Sage
O	Simmondsia chinensis	Jojoba
O,G	Sophora secundiflora	Texas Mountain Laurel
O	Vauquelinia californica	Arizona Rosewood
O	Viburnum tinus dwarf o	Laurustinus Viburnum
O	Wylosma congestum 'Compactum"	Shiny Xylosma

**F. Ground covers**


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O,G	Acacia redolens 'Desert Carpet'	Prostrate Acacia
O,G	Aptenia cordifolia	Ice Plant
O,G	Baccharis hybrid 'Thompson'	Thompson Baccharis
O,G	Baccharis pilularis	Dwarf Coyote Bruch
G	Dalea greggiio	Prostrate Indigo Bush
O	Euonymus fortunei	Wintercreeper
O,G	Gazania hybrid o	Hybrid Gazania
O	Hedera helix o	English Ivy
O	Humenoxys acaulis	Angelita Daisy
O,G	Juniperus species	Juniper Species



O,G	Lantana camara o	Bush Lantana
O,G	Lantana montevidensis	Trailing Lantana
O	Liriope muscari o	Liriope
O	Myoporum parvifolium	Myoporum
O,G	Oenothera berlandieri	Mexican Evening Primrose
O,G	Osteospermum fruticosum	Trailing African Daisy
O,G	Rosmarinus officinalis prostratus	Trailing Dwarf Rosemary
O,G	Teucrium chamaedrys "Prostratum" o	Dwarf Germander
O	Trachelospermum asiaticum o	Asiatic Jasmine
O	Trachelospermum jasminoides o	Star Jasmine
O	Verbena rigida / venosa	Sand Verbena
O	Vinca major o	Periwinkle
O	Vinca minor o	Dwarf Periwinkle

### G. Vines

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O,G	Campsis radicans	Common Trumpet Creeper
O	Gelsemium sempervirens	Carolina Jessamine
O	Hedera species o	Ivy
O	Lonicera japonica "Hallinana"	Hall's Honeysuckle
O,G	Macfadyena unguis-cati	Cat's Claw Vine
O	Parthenocissus quinquefolia o	Virginia Creeper
O	Podranea ricasoleana o	Pink Trumpet Vine
O,G	Rosa banksiae	Lady Bank's Rose
O	Trachelospermum jasminoides o	Star Jasmine
O	Wisteria floribunda o	Japanese Wisteria

### H. Accents

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G	Agave species	Agave
O	Agapanthus species o	Lily of the Nile
O	Ceasalpinia species	Yellow Bird of Paradise
O	Ceasalpinia mexicana	Mexican Bird of Paradise
O	Ceasalpinia pulcherrima	Red Bird of Paradise
O	Dietes species	Fortnight Lily
O	Euryopos pectinatus o	Euryops Daisy
O	Fatsia japonica	Japanese Aralia
O	Hesperaloe species	Red Yucca
O	Hemerocallis hybrids	Day Lily
O	Hymenoxys acaulis	Angelita Daisy
O	Muhlenbergia species	Deer Grass
O	Nolinia species	Bear Grass
O	Penstemon species	Penstemon
O	Yucca species	Yucca
O	Zephyranthes grandiflora	Pink Rain Lily
O	Zephyranthes sulphurea	Yellow Rain Lily
O	Zephyranthes candida	White Rain Lily

**I. Native Seed Mix**

Larrea tridentata	Creosote Bush	6lbs./acre
Cassia armata	Desert cassia	3lbs./acre
Ambrosia dumosa	White Bursage	6lbs./acre
Acacia greggii	Catclaw Acacia	3lbs./acre
Shismus barbatus	Six Weeks Grass	2lbs./acre
Sphaeralcea ambigua	Desert Mallow	4lbs./acre
Plantago insularis	Indian Wheat	4lbs./acre
Eschscholtzia mexicana	Mexican Gold Popoy	4lbs./acre

- o Plant in protected location (be aware of conditions which can harm the plant such as cold, heat, sun exposure, and soils, etc.).

It is important that plants selected from the plant list are grouped together with plants that have similar growing environments, such as soils, sun exposure, water requirements, heat, and cold tolerance, etc. In addition to this, understand which plants perform best I various exposures and the conditions as noted above. Examples: Fatsia japonica does not grow on west exposure, it does grow well on north and eastern exposures. Cercidium floridum does not grow in lawn areas or soils with poor drainage, therefore these plants would not be grouped together but would have separate zones. Some plants performance improves with heavily amended soils, etc.

**PROHIBITED PLANT LIST**

The following plants are prohibited:

BOTANICAL NAME	COMMON NAME
Cactus spp. *	Cactus
Cynodon dactylon **	Common Bermuda Grass
Morus alba	Mulberry Species
Nerium oleander	Laeander Species
Olea europaea	Common Olive
Populus Species	Cottonwood
Salix Species	Weeping Willow
Cortaderia selloana	Pampas Grass
Fouquieria splendens	Ocotillo

\* Cactus plants are prohibited in front yards only.

\*\* Hybrid Bermuda grass is acceptable (sod only), in addition to this Hybrid Bermuda requires over seeding once each year in September which will be required by the Owner each year / season.

**4.1.7 NATIVE SEED MIX INSTALLATION RECOMMENDATIONS**

Apply native seed to top soil by cross drilling in two separate directions and/or broadcasting evenly. Seeding shall not be performed when the wind velocity is detrimental to the uniform distribution of the seed. Lightly rake seed into soil. Apply slurring mix to newly seeded area. Mix shall be evenly distributed. Hydraulically apply fiber mulch at a minimum rate (50) pounds to every 1,000 square feet. Application should be between September to March or as recommended by seed supplier.

**4.1.8 SODDING INSTALLATION RECOMMENDATION****Sod Bed Preparation**

1. Lightly roll surface and reshape to level humps and hollows. Soil surface should be 1" below walks, curbs, etc. Secure landscape architect's approval before sodding.
2. Scatter fertilizer (3:3:1 ratio) on the bed at the rate of 8 pounds per 1,000 square feet. Rake in lightly. Be sure soil is level and smooth before laying sod. Avoid laying sod on dry soil; water lightly as required.
3. Sod immediately thereafter provided the sod bed has remained in friable condition.

**Sodding Operations**

1. Lay sod so that adjacent strips but tightly with no spaces between strips. Lay sod on mounds and slopes with strips parallel on contours. Stagger joints. Sodded areas shall be flush with adjoining seeded areas.
2. Butt joints tightly to eliminate voids.
3. Cut sod with sharp sod knife to fit curves and to fit neatly around obstacles.
4. Tamp and roll sod thoroughly to make contact with sod bed.
5. Water installed sod section lightly to keep moist while sod installation is progressing. Water thoroughly after installation as required by weather conditions to keep sod moist until rotted; the first 10 days are critical and the moisture level should be closely monitored.

## 4.2 SINGLE FAMILY

### 4.2.1 RESIDENTIAL STREET AND FRONT YARD LANDSCAPE

#### General

The homeowner shall design and install landscaping along residential streets, including front and corner lot side yards. All landscape must be installed by the homeowner prior to occupancy of a residence.

#### Front Yard Paving

The minimum width of an entry walk is 4 feet. Entry walks shall be separated from a building wall by a minimum 3'-0" wide planting strip that shall be fully planted.

#### Front Yard Planting

Front yards shall be landscaped by the homeowner to provide an inviting and canopied appearance along residential streets. A minimum of two trees are required in each front yard. At least one tree must be a street tree from the plant list large tree category. Street trees are to be planted within the street tree planting zone, where no side walk exists or if the sidewalk is attached to the curb, plant the trees 4 feet in back of the curb/sidewalk. Where the sidewalk is planned in the parkway between the curb and sidewalk the tree is to be centered in the park strip. (Tree root barriers are required. See 4.2.3 for root barriers).

Trees should be spaced at least 15 feet apart. Small patio trees with a mature canopy under 15' feet can be spaced 10' apart.

Foundation planting shall completely cover the visible portion of a house's base, including all backflow preventer units, within one year of installation. The base of a house is defined as a 2 foot high band measured from the ground surface up, and extending along the front and both sides of a house and courtyard walls that are visible from a street or open space. In addition, each front yard must contain at least three different species of shrubs and/or ground cover plants. Shrubs and ground covers should be used in groupings of similar plants positioned to complement other plants of varying heights and textures.

#### Transition Areas Between Lots

Treatment of the area where the landscape of two lots abut should be similar to create a unified and more expansive landscape feeling. Treatments may include lawns, gravel mulch, and shrub and ground cover planting. A hard edge treatment (i.e. mow strips, edging walls, etc.) between lots should be minimized.

**Corner Lot Side Yard Planting**

All areas between the back of curb or sidewalk and a product or retaining wall shall be planted with a landscape palette consistent with the parcel theme. Minimum requirements include: 75% organic coverage at two year's growth, full coverage of the ground plane with gravel mulch, and one 24 inch box tree for every 30 linear feet along the side yard facing the street.

**Parkway Landscaping**

**Parkway landscaping is to be installed and maintained by the Homeowner and shall consist of trees and turf only as described below:**

**TREES: FRAXINUS VELUTINA  
"FAN TEX ASH" RIO GRANDE VARIETY  
SIZE: 36 INCH BOX**

Tree Quantity Per Lot: Three trees minimum unless the Architectural Review Committee increases the number of trees or reduces the number of trees when reviewing the lot frontage landscaping.

Tree trunk protector - All trees in turf areas to receive #AG9-4 Aborgard +. Protector by Deeproot Partners, L.P. or equivalent product in general conformance.

Turf: Lawn Type: Water Saver: Fescue Marathon-Ile.

**TABLE A-2  
FRONT YARD LANDSCAPE REQUIREMENTS**

	Arid Oasis	Arid Garden
Minimum Tree Quality	2*	2*
Minimum Tree Size	24 Inch Box	24 Inch Box
Primary Tree Type	Shade	Shade
Secondary Tree Type	Shade or Accent	Shade or Accent
Planting Character	Formal or Informal	Formal or Informal
Minimum Shrub Size	5 gallon	5 gallon
Minimum Ground Cover Size	1 gallon	1 gallon
Ground Plane Materials (organic coverage)	Turf or Ground Cover Plants	Ground Cover Plants with Rock Mulch
Minimum Organic Coverage (Excluding Driveways) (Trees are not part of the minimum coverage)	90% **	65 **

\* Corner lots shall have one 24 inch box tree for every 30 linear feet planted along the side yard facing the street.

\*\*\* Percentages shown for ground plane coverages are at two year's growth within 18" above ground. All shrub and ground cover area shall be covered with a top dressing of gravel mulch or decomposed granite.

#### 4.2.2 FRONT YARD LANDSCAPE REQUIREMENTS

##### Landscape Concept

##### Turf

All grass must be a fescue blend, hybridized Bermuda blend, or perennial rye grass blend developed for use in the desert. All grass installations in front yards shall be sod, no seeding. Common Bermuda grass is not permitted.

## **Maintenance**

Owners are expected to maintain their landscapes in good condition at all times. This includes but is not limited to weekly lawn mowing, weeding, pruning trees and shrubs, fertilizing, watering, removal of dead plants or parts of plants, replacement of plants and over-seeding of lawn areas and removal of debris.

### **4.3 IRRIGATION**

#### **4.3.1 IRRIGATION DESIGN INTENT**

The Henderson area and surrounding Las Vegas Valley have extreme climatic conditions that create a difficult environment for many species of plant material to survive. It is essential for the landscape irrigation systems to utilize current technology in both product applications and system design, to effectively accommodate the harsh soil conditions, wind velocities, temperature extremes, and low humidity of the Valley.

Automatic irrigation systems that are water efficient and low maintenance are required for all planting areas.

The irrigation system shall be designed in conjunction with landscape planting. Areas requiring overhead spray shall be minimized and shall be restricted to turf and groundcover beds.

#### **4.3.2 OVERHEAD IRRIGATION**

All necessary overhead irrigation must conform to the following:

1. A pressure vacuum breaker (PVB) or reduced pressure backflow preventer (RPPA) is required for all residential irrigation. Atmospheric breakers are not allowed.
2. Areas which must be sprayed adjacent to roadways and walkways shall utilize low angle spray nozzles on 4" pop-up spray heads. Groundcover areas should utilize 12' POP-UP HEADS. Spray heads shall be placed 4" from the back of curb in turf areas, and 8" for groundcover areas. Rotor heads are not allowed immediately adjacent to roadway edges.
3. Overhead spray irrigated areas for grass areas shall not be under 6 feet. Annual beds and special planting beds can not be under 4 feet.
4. In no case shall any overhead system throw water directly on any roadway, walkway or paved surface.

### 4.3.3 DRIP IRRIGATION

All drip irrigation must conform to the following:

1. Drip irrigation systems must be designed to provide for water demand of plant material at three (3) year maturity. Trees (24" box and larger) must be designed to provide for five (5) year maturity water requirements.
2. The minimum quantity of emitters per plant should be in accordance with the following table and spaced equally around the rootball. Some variation may occur due to differences in water demand between plant material.

Plant Size	Emitter Volume	Quantity
1 gallon material	1 GPH	1 each
5 gallon material	1 GPH	2 each
15 gallon material	2 GPH	3 each
24" box material	2 GPH	4 each
36" box material	2 GPH	6 each
48" box material	2 GPH	8 each
54" box material	1 GPH	9 each
60" box material	2 GPH	10 each

### 4.3.4 WATER MANAGEMENT

Overhead and drip irrigation systems must be zoned for exposure, topography, and varying water requirements of plant material, in addition to hydraulic limitations. At a minimum, the irrigation design shall account for the following:

1. Varying precipitation rates and/or watering depth or schedule together all whenever possible).
2. South and west exposures together, north and east exposures together (separate all whenever possible).

All irrigation systems shall utilize controllers capable of a minimum of three (3) operating programs, and four (4) start times per program.

All zones shall be activated by an electric control valve, that is compatible with the control system manufacturer. All control valves must be capable of adjustment to the proper zone operating pressure, through flow control, or an attached pressure regulator.



Control valve or pressure regulating assemblies on all overhead spray shall be adjusted to the designed operating pressure. Similar fine tuning adjustments shall be performed on all drip irrigation zones.

All arcs shall be adjusted as necessary to prevent direct spray on any roadways, walkways, structures, or paved surfaces, as well as overthrow into any planting bed which is drip irrigated. Head nozzles and arc patterns shall be changed as required.

All watering must conform to the water use requirements in the Declaration, the Las Vegas Valley Water District (LVVWD) guidelines and City of Henderson requirements.

1. The LVVWD recommends watering all plantings between 2:00 a.m. and 5:00 a.m.
2. Required watering times from May 1 through October 1, the City of Henderson prohibits watering turf between 12:00 noon and 7:00 p.m.

Contact the LVVWD for a water conservation package and additional information.. Hotline number (702) 258-3102.

#### **4.4 OUTSIDE ART AND LANDSCAPE ORNAMENTS**

##### **4.4.1 OUTDOOR ART AND LANDSCAPE ORNAMENTS**

Statues, outdoor art, fountains, birdbaths and similar landscape elements are subject to review. Vertically mounted, stand-alone flagpoles are permitted but must be located within the Building Envelope and may not exceed 20' in height. Flagpoles which are mounted at an angle on the side of a residence may not exceed 6' in length.

##### **4.4.2 WATER FEATURES**

Decorative water features, waterfalls, fountains, birdbaths and ponds are allowed. Water features and waterfalls combined with swimming pools are acceptable, subject to the approval of the Committee.

#### **4.5 LIGHTING**

##### **General**

Lighting shall be designed to provide safe and functional illumination in an aesthetically pleasing and visually unobtrusive manner.

Within Seven Hills, light fixtures with cutoff or concealed light sources are preferred.

This type of fixture may include wall sconces, recessed lighting, soffit lighting, and directional lighting. No lighting which produces excessive glare or shines on an adjacent lot will be allowed.

Exterior lighting must be submitted for review during the ARC approval process.

### **Street Lighting**

All public or non-gated projects must use standard Seven Hills poles and fixtures. Private or gated projects may use poles and fixtures appropriate to the character of the project.

#### **4.5.1 SINGLE FAMILY EXTERIOR BUILDING LIGHTING**

Concealed light sources are preferred for single family projects. Lighting shall illuminate the entry and a pedestrian path from the street. If street lighting levels are low, lighting attached to the home shall augment illumination of the street. Soffit lighting above garage doors or those portions of the building near the street are appropriate. Those light fixtures augmenting street lighting shall be controlled by photocells and timers.

#### **4.5.2 LANDSCAPE LIGHTING**

The use of landscape up-lighting is encouraged. Lighting that will cause glare or discomfort, or disrupts the visual environment of neighboring units or adjacent parcels is not permitted.

Fixtures shall be constructed and mounted to withstand and discourage abuse.

Above-ground plastic housing and connections are prohibited. Flood lights are also prohibited.

Owners are encouraged to use exterior or landscape lighting to enhance their residence or yard. Only indirect low level lighting is permitted. No lighting which causes glare, discomfort or disruption to the visual environment of neighboring residences and yard is permitted. Any lights mounted higher than 6' off the ground must be pointed downward and away from neighboring residences. No light on any building, tree, pole or any other vertical element within a Lot may be located higher than the eaves of the house. Ground mounted spotlights and uprights are acceptable provided they point towards the building and do not provide nuisance light levels in adjacent Lots. Floodlights are not allowed.

#### **4.5.3 SECURITY LIGHTING**

Lighting systems shall be designed and installed in a manner that promotes the safety of pedestrian and vehicular movement. Area illumination must be provided for parking areas, entry areas, walkways, and other people gathering areas.

#### **4.5.4 ACCEPTABLE LIGHT SOURCES**

Light sources that approximate natural light are appropriate in Seven Hills. These sources may include color enhanced metal halide, halogen, florescent and incandescent lamps. Color enhanced lights must complement the item be up-lighted. Colors not in compliance will be removed.

#### **4.6 COURTYARD WALLS**

##### **General**

Please refer to Section 2.3, Development Standards, for courtyard wall height and setback requirements.

##### **4.6.1 COURTYARD MATERIALS**

Courtyard walls shall be finished to match the house and may be embellished with cut outs or panels of wrought iron accents, recesses, steps, stone, or ceramic tile. Courtyards must be defined by building walls, or low walls. Minimum enclosed space is 100 square feet.

##### **4.6.2 PROHIBITED MATERIALS**

Wood or chain link fencing is not permitted.

# SECTION 5

## DESIGN REVIEW

### 5.1 INTRODUCTION

The ARC shall administer all project submittals and approvals for development on Custom Estate lots within *Seven Hills* with regard to the implementation of the Design Criteria. The procedure described below shall be used to administer the implementation process. Complete submissions are required; the ARC is not obligated to review incomplete submissions.

As an expression of the master developer's vision for *Seven Hills*, these Design Criteria are intended to provide homeowners and their builders, architects, civil engineers, and others an overall direction in the design process. The criteria contained within the Design Criteria provides examples of ways in which the vision can be achieved, however, the ARC strongly encourages creativity, innovation, and variety throughout *Seven Hills*. Therefore, design proposals may reflect a certain level of flexibility, provided the overall intent of the master developer's vision and Design Criteria is achieved.

### 5.2 IMPROVEMENTS REQUIRING REVIEW

All residential dwellings and lot improvements to be constructed on Custom Lots will require review and approval by the Architectural Review Committee. Improvements requiring review are all construction activities, which include but are not limited to structures (new construction, remodels, additions and accessory structures), paving, landscaping, utilities, and site amenity features.

### 5.3 SUBMITTAL REQUIREMENTS

Each set of submittal drawings (not to exceed 30" x 42" in size) must include the following:

- a. Index of Drawings
- b. Legends of Symbols (If Any)
- c. Sheet Title
- d. Scale and North Arrow
- e. Lot Owner: Name/Address/Phone No.
- f. Builder: Name/Address/Phone No.
- g. Entity that prepared the plan(s): Name/Address/Phone No.
- h. Date the drawings were completed and/or modified
- i. Parcel and Lot Identification Number
- j. Site map with lot indicated

## **5.4 PLAN PREPARATION**

All plans shall be prepared by qualified professionals registered in the state of Nevada. It is recommended that a team of qualified professionals, including architects, landscape architects, engineers, or other approved designers, be used in the preparation of the plans.

## **5.5 PLAN CHECK FEES**

The Pre-Design Conference will be provided at no cost to the applicant, however, a plan check fee of \$950 is required to cover administrative costs associated with the Preliminary Review and Final Review submittals (a total of two reviews). If it becomes necessary to provide further reviews, an additional charge of \$350 will be assessed for each such review.

## **5.6 DESIGN REVIEW AND APPROVAL PROCESS**

### **5.6.1 GENERAL**

Each step in the design review process is sequential and all applicants must adhere to this process as further described below.

### **5.6.2 ARCHITECTURAL REVIEW COMMITTEE**

The master developer shall establish an Architectural Review Committee (ARC) consisting of members as described in the Master Declaration, to review each project submittal. In addition, the ARC may consult with other professional advisors as deemed appropriate. The ARC, at its sole discretion, may approve, conditionally approve, or deny any project submittal. The Architectural Review Committee may be contacted at the following address:

SEVEN HILLS ARCHITECTURAL REVIEW COMMITTEE  
c/o Horizon Community Management, LLC  
2920 N. Green Valley Parkway, Suite 621  
Henderson, Nevada 89014

### **5.6.3 RESPONSIBILITY OF REVIEW**

The Architectural Review Committee will evaluate the each submittal in accordance with the criteria contained herein to ensure that the intent of the Design Criteria and Declarations is achieved. Neither the Board of Directors of *Seven Hills*, nor the master developer assume responsibility for plan review of local codes or ordinances. The approval of the Committee is limited as follows:

- a. The Committee's review and approval of the plans and the Improvements are limited to consideration of whether the aesthetic elements of the Improvements comply with the aesthetic requirements of the Seven Hills Custom Estates Design Criteria. Other than the review of the Plans and Improvements for aesthetic compliance, the Committee does not review or render judgement on the Plans or Improvements for any purpose and specifically does not evaluate compliance of the Improvements with building code and other legal requirements or evaluate conformance of the Improvements to the soil and geo-technical conditions and other site conditions. The Committee does not verify the site conditions as indicated on the Plans, and the Owner assumes full responsibility to design and construct the Improvements to accommodate all site conditions.
- b. The Committee does not approve, and specifically denies approval, of any portion of the Improvements that do not strictly comply with the Design Criteria unless the submittal specifically highlights all non-conforming elements accompanied by a narrative explanation of the justification for the non-conformity.
- c. Finally, the Committee reserves the continuing right, but not the obligation, to identify and require correction of any violation of the Design Criteria. The Committee may exercise this right at any time during the construction or following completion of the Improvements or any alterations thereof or additions thereto.

#### 5.6.4 PRE-DESIGN CONFERENCE (Optional at request of homeowner)

Prior to beginning design work, the applicant may contact the master developer to schedule a Pre-Design Conference with the Architectural Review Committee. The Pre-Design Conference will be provided at no cost to the applicant. The purpose of this conference is to provide the applicant with a general overview of *Seven Hills*, including the underlying development philosophy of the master developer; review and clarify submittal requirements; review design requirements to provide the applicant with any additional information about site amenities or opportunities/constraints; identify any unique conditions or issues related to the lot; and answer any other questions the applicant may have regarding development of the homesite.

#### 5.6.5 PRELIMINARY REVIEW (SUBMITTAL 1)

The ARC will make one of the following determinations for the preliminary submittal:

- a. Approved  
Submittals which are "Approved" may proceed in the preparation of documents for Final Review (Submittal 2). Any change to the plans, including those not specifically requested by the ARC, must be re-submitted for approval.
- b. Approved with Conditions

Submittals which are "Approved with Conditions" should address the ARC comments in written and/or graphic form as required and resubmit the Preliminary Review for action.

c. Denied

Submittals which are "Denied" generally fail to meet the intent of the Design Criteria, and based upon the ARC comments, should be thoroughly revised to more fully adhere to the goals and objectives of the Criteria. Upon such revision, the entire Preliminary Review may be resubmitted for action.

The applicant shall submit two sets of the following items for the Preliminary Review:

**Plot Plan**

(1/8" = 1'-0" or 1" = 10')

- a. Show lot lines accurately, including length, angles and amount of curve.
- b. Show all building, structures, fences, setbacks, sidewalks, slopes and street right-of-way contiguous to the lot.
- c. Show all dimensions on work to be considered, distance between existing and proposed work, and distances between proposed work and property lines.
- d. Show required building setbacks.
- e. Show location of tennis, sports courts, pools, spas, equipment, or other amenities
- f. Indicate of field verification of existing street lights and street trees

**Conceptual Architectural Plans**

The conceptual architectural drawings shall indicate the proposed appearance of all buildings including but not limited to details of roof, trim, finishes, colors and materials. The following items shall be included in the submittal:

- a. Dimensioned Conceptual Floor Plans at 1/4" = 1'-0"
- b. Conceptual Building Elevations at 1/4" = 1'-0"  
(including front, side, and rear elevations with material and colors called out)
- c. Roof Plan at 1/4" = 1'-0"  
(including slope pitches and ridge heights above pad elevation)
- d. Floor Plan area calculation for each floor and garage

**5.6.6 FINAL REVIEW (SUBMITTAL 2)**

Upon completion of development proposals incorporating ARC comments from the Pre-Design Conference and Preliminary Review, applicants shall submit final plans to the Architectural Review Committee for official review and action. The ARC will make one of the following determinations for the final submittal:

## a. Approved

Submittals which are "Approved" may then submit plans to the City of Henderson for their review and approval as required. All plans must be approved by the ARC prior to submission to the City of Henderson. Any change to the plans, including those not specifically requested by the ARC, must be re-submitted to the ARC for approval. *(NOTE: Upon final approval of submittal, applicant shall provide for ARC files an 11" x 17" set of all floor plans, elevations, and final plot plans, along with color photocopies of the color board with paint numbers.)*

## b. Approved with Conditions

Submittals which are "Approved with Conditions" should address the ARC comments in written and/or graphic form as required and resubmit the Final Review for action.

## c. Denied

Submittals which are "Denied" generally fail to meet the intent of the Design Criteria, and based upon the ARC comments, should be thoroughly revised to more fully adhere to the goals and objectives of the Criteria. Upon such revision, the entire Final Review may be resubmitted for action.

The final submittal shall consist of two sets of the following items:

**Final Architectural Plans**

(1/4" = 1'-0")

- a. Final architectural plans of all approved Submittal No. 1 drawings, including any revisions required by the ARC after the Submittal No. 1 review.
- b. Written specifications for all proposed work.
- c. Material and Color Board with samples of actual selections (including L.R.V. ratios) for all structures including but not limited to residences, accessory structures, patio covers, and gazebos:
  1. Roof tile
  2. Entry door
  3. Garage doors
  4. Building wall finishes
  5. Paint or stain color chips
  6. Windows
  7. Fascias
  8. Trim materials
  9. Other visible exterior features



**Final Grading Plan**

(1/8" = 1'-0" or 1" = 10')

- Show contours, flow lines, finished grades.

**Final Landscape Plan**

- a. Show drainage for surface and subsurface, including direction of flow and type and size of facility.
- b. Show irrigation plan.
- c. Show type, size and location of all plant materials.
- d. Show all fences, walls, patios, trellises, arbors, gazebos and all other landscape features, along with their location, material and color.

**Final Plot Plan**

(1/8" = 1'-0" or 1" = 10')

- The Final Plot Plan shall include all items as listed in the Submittal No. 1 requirements, including any revisions required by the ARC after the Submittal No. 1 review.

**Pool Plans**

- Pool plans shall include plans for drainage, pool equipment and construction in conformance with City of Henderson standards.

**Repair Deposit / Compliance with Approved Plans**

It is the homeowner's responsibility to repair existing streets, curbs, sidewalks, utilities, neighboring lots, completion of landscaping, or other existing elements which may be damaged as a result of construction activity on an individual homesite. A repair deposit of \$3,000 shall be submitted to the ARC prior to lot construction, as security for any damage caused by the construction of site improvements, and to ensure that all improvements are constructed in accordance with the ARC approved plans.

**5.6.7 APPLICATION RESPONSE TIME**

After a submission is accepted as complete and in accordance with all the submittal requirements, the master developer shall approve, approve with conditions, or deny the application within a reasonable time, not to exceed 30 business days.

The ARC evaluation will consider layout, design and placement of buildings, structures, amenities, driveway and parking areas, and other site features for their conformance with these Design Criteria, as well as for their ability to create an appropriate residential scale and a

pleasant living environment. The design review shall include, but is not limited to, architectural style, building size, building massing, building location, materials, colors, relationship to existing site features, grading and drainage, parking, landscape, special site features, and impacts to surrounding homesites and adjacent golf course.

#### **5.6.8 APPLICABLE STANDARDS**

The ARC shall review each submission for the design's commitment to overall community development and adherence to these Design Criteria and any other applicable design standards provided by the master developer.

The ARC is not responsible for the technical review of submissions, including but not limited to structural plans, geological, grading or other engineering conditions, or for conformance to any applicable codes and standards established by public agencies.

It is the responsibility of the homeowner to comply with any and all state and local building codes and ordinances that apply to the construction of the custom home and other lot improvements, including the sprinklering of homes that exceed the maximum square footage allowed by the city of Henderson fire code for non-sprinklered residential structures.

#### **5.6.9 APPROVALS AND RE-SUBMITTALS**

All submittals will be reviewed by the ARC, and cover sheets will be marked as "Approved", "Approved with Conditions", or "Denied". Construction may not begin on any improvements until all submittals for that improvement have been approved. All comments back to the ARC must be addressed in letter and/or graphic form. Applicants must show all revisions to previously reviewed plans using the graphic practice of clouding (i.e., outlining the revision with a cloud shaped line). Any change to the plans, including those not specifically requested by the ARC must be resubmitted for approval.

Upon receipt of submittal comments, the applicant may contact the ARC and/or its consultants to schedule a meeting to review and explain comments in further detail, if necessary. All plans must be approved by the ARC prior to submission to the City of Henderson.

#### **5.6.10 CITY OF HENDERSON SUBMITTALS**

Drawings to be submitted to the City of Henderson must be approved by the ARC prior to submission to the City.

## **5.7 ADMINISTRATION**

### **5.7.1 FEES**

The ARC shall have the right to require payment of reasonable fees for the review of proposed plans and other materials, and site observation of constructed improvements.

### **5.7.2 AMENDMENT**

The Custom Lot Design Criteria may be amended by the affirmative vote of a majority of the members of the Architectural Review Committee; provided, however, that no such amendment shall affect any previously approved construction activity.

### **5.7.3 PREVALENCE OF MASTER DECLARATION**

In the event of any conflict between the provisions of the Design Criteria and the Master Declaration, the more restrictive shall prevail.

### **5.7.4 MISCELLANEOUS**

All items submitted to the Architectural Review Committee shall become the property of the ARC. Changes to the approved plans shall be re-submitted to the Committee for approval and shall clearly identify the revision(s).

### **5.7.5 PROSECUTION OF WORK AFTER APPROVAL**

After approval of the final plans by the ARC, the construction, alteration or other work described therein shall be commenced and completed in accordance with the rules set forth in these Design Criteria and the Declaration. The ARC or its representative has the right to enter the lot or premises and to inspect the project for compliance with the Design Criteria or Declaration at any time, without advance notice to the lot owner nor fear of trespass and liability.

### **5.7.6 CONSTRUCTION PROCEDURES**

#### **Introduction**

Builders and subcontractors shall use extreme care to ensure the public health, safety and welfare during all phases of construction. This shall include, but is not limited to providing proper warning signage, fencing of potentially dangerous conditions and security services when deemed necessary by the master developer.

### **Nuisance Control**

Construction operations shall not create any of the following nuisances (to the extent they are permanent or are detectable without the use of instruments) at any location outside of the lot upon which the operation or activity is conducted:

- A. Change of air temperature or humidity.
- B. Dust or other airborne particulate matter.
- C. Noxious odor.
- D. Glare from lighting or reflective materials.
- E. Disruption of television or radio reception.
- F. Excessively loud noise for long periods of time.
- G. The use of radios, boom boxes, and other similar devices on a construction site shall not be audible from off-site locations.
- H. No dogs shall be permitted on any construction site.
- I. The use of alcohol is strictly prohibited from any construction site.

The master developer may enact strict procedures, temporary or permanent, at any time to ensure noise and dust abatement measures are taken by lot owners or their contractors.

### **Construction Fencing**

All construction sites are required to have construction fencing and screening to block the view of construction activity from off-site areas.

### **Erosion Control**

Lot owners or their contractors shall provide erosion control devices as necessary to prevent silt and other debris from flowing onto streets, golf course, open space, or adjacent lots during construction.

### **Cleanliness**

All areas shall be kept free of trash, waste and any other unsightly materials which can be carried by the wind. Construction fencing is required around the perimeter of the lot to control wind-blown debris. The site shall be left in a neat and orderly condition at the end of each workday, with scrap material and debris disposed of in covered receptacles, and such receptacles collected and emptied as necessary before becoming overfilled. Trash receptacles are not allowed on streets or sidewalks within Seven Hills. Hazardous debris and material shall be removed from the site each day. No hazardous material shall be stored on-site overnight. Weeds, debris and litter shall not be allowed to accumulate on-site.

No trailers for temporary living quarters shall be allowed on-site. Construction trailers are not allowed without prior approval by the ARC.

There shall be a minimum of one temporary rest room facility per lot during construction.

### **Construction Access**

The only approved construction access during the time a residence or other improvements are being built will be from the approved driveway for the lot unless an alternate location is approved by the ARC.

### **Contractors**

All contractors shall be properly licensed and bonded with the City of Las Vegas and the state of Nevada and shall meet all appropriate legal requirements.

### **Foundation/Slab Staking Observation**

The lot owner is required to provide 24 hour prior notice to the ARC for observation and approval of the staking for building foundations and/or slabs. Concrete pouring of building foundations can not begin without ARC approval.

### **Hours Of Operation**

No equipment maintenance or construction work of any type shall be performed or conducted on any construction site between the hours of 8:00 p.m. and 6:00 a.m.

### **5.7.7 VIOLATIONS**

Construction deemed by the ARC to be in violation of approved drawings, the Design Criteria, or the Declaration shall be corrected as described in the Declaration.

### **5.7.8 STATEMENT OF APPROVAL**

Upon approval of the final plans, the ARC shall, upon written request from the applicable lot owner, provide such lot owner with a statement of approval in a form appropriate for recordation.

### **5.7.9 RULE MAKING AUTHORITY**

The ARC adopts these Design Criteria for the purpose of interpreting, applying, supplementing and implementing the provisions of the Declaration pertaining to the design of lots, buildings and other improvements. A copy of these Design Criteria as from time to time adopted, amended or

repealed, shall be maintained in the office of the Association and shall be available for inspection during normal business hours by any lot owner or prospective lot owner, or any architect or agent of any such lot owner or prospective lot owner. It shall be the responsibility of any lot owner or prospective lot owner, or architect or agent of any such lot owner or prospective lot owner to inform themselves as to any and all such changes of these Design Criteria.

#### **5.7.10 LIABILITY OF COMMITTEE**

Provided that the Architectural Review Committee acts in good faith, neither the ARC nor any representative thereof shall be liable to any lot owner or any other person for any damage, loss or prejudice suffered or claimed on account of the review of any plans, specifications or materials. The review and delivery of a form of approval or disapproval is not to be considered an opinion as to whether or not the plans are defective or whether the construction methods or performance of the work proposed therein is defective, or whether the facts therein are correct or meet the City of Henderson Building Codes.

#### **5.7.11 PROFESSIONAL ADVICE**

The ARC may employ the services of an architect, attorney, land planner, landscape architect or engineer to render professional advice and may charge the cost for services of such a professional to the lot owner applicant, but only after the lot owner has been informed in advance such compensation shall be so charged.

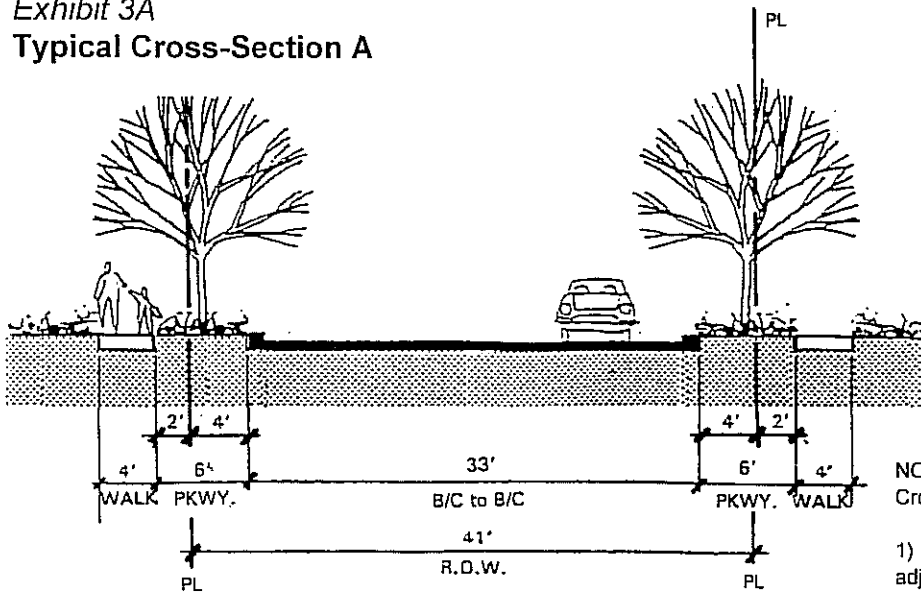
#### **5.7.12 WAIVER OF LIABILITY FOR ERRANT GOLF BALLS**

By acceptance of a deed to a lot within Seven Hills, the master association and each owner, for himself and on behalf of his family and guests release Declarant, and its respective lessees, agents, employees, directors, officers, shareholders, partners, and contractors from all claims, demands, expenses, damages, costs, causes of action, obligations and liabilities, including, without limitation, damage to his residence or lot and damages for personal injury or death, which in any way may arise from or relate to the impact of a golf ball which enters upon the Association property or within any residence or lot from the golf course property, whether or not the golf ball is struck in a negligent manner.

#### **5.7.13 NO RIGHT TO USE GOLF COURSE**

Each owner acknowledges that the purchase of a lot by such owner does not confer upon such owner the right to use the golf course or any other facilities (collectively the "facilities") on the golf course property. In order to use the facilities, each owner will be required to pay such fees and to satisfy such other conditions as may be in effect from time to time with respect to the use of the facilities.

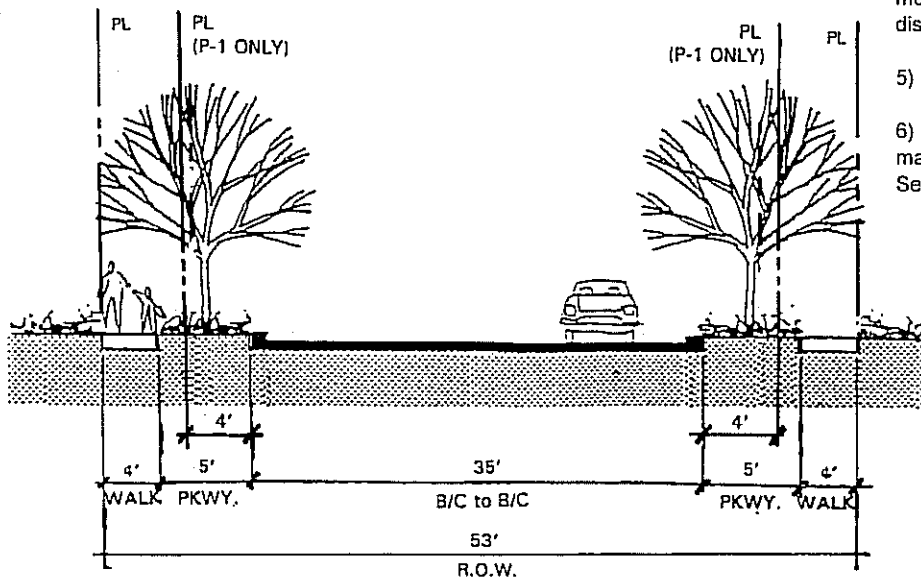
*Exhibit 3A*  
**Typical Cross-Section A**



NOTES: The following notes apply to all Street Cross-Sections:

- 1) Refer to Final Map for exact cross-section adjacent to your lot.
- 2) In certain locations, the sidewalk may be located on one side of the street only.
- 3) In certain locations, the sidewalk may meander within the 10' area back of curb.
- 4) The master developer reserves the right to modify street cross-sections at its sole discretion and without notice.
- 5) Setbacks are measured from back of curb.
- 6) Homeowner is responsible to install and maintain parkway landscaping. (Refer to Section 4.2.1)

*Exhibit 3B*  
**Typical Cross-Section B**

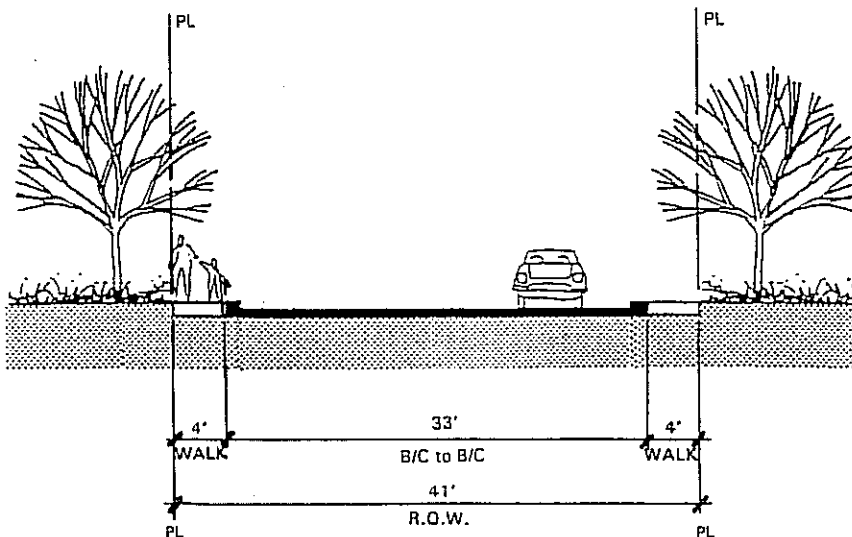


*Exhibits 3A and 3B*  
**TYPICAL STREET CROSS-SECTIONS**

NOTES: The following notes apply to all Street Cross-Sections:

- 1) Refer to Final Map for exact cross-section adjacent to your lot.
- 2) In certain locations, the sidewalk may be located on one side of the street only.
- 3) In certain locations, the sidewalk may meander within the 10' area back of curb.
- 4) The master developer reserves the right to modify street cross-sections at its sole discretion and without notice.
- 5) Setbacks are measured from back of curb.

*Exhibit 4*  
**Typical Cross-Section C**



*Exhibit 4*

**TYPICAL STREET CROSS-SECTION**

*Seven Hills*

CUSTOM ESTATES DESIGN CRITERIA  
APRIL 26, 2002

A-2



NOTES:

\*No view easements or view corridors are implied.

\*\*On golf course frontage lots, accessory structures or other improvements over 48" in height shall not be permitted in the rear setback.

CONE OF VISION\*  
Site improvements limited to turf, groundcover, patios, swimming pools or other low elements less than 12" high.

WROUGHT IRON FENCING\*  
Remaining 10' limited to shrubs or other low elements not to exceed 30" in height.

CONE OF VISION  
Pool equipment and air conditioner units shall not be located within the cone of vision.

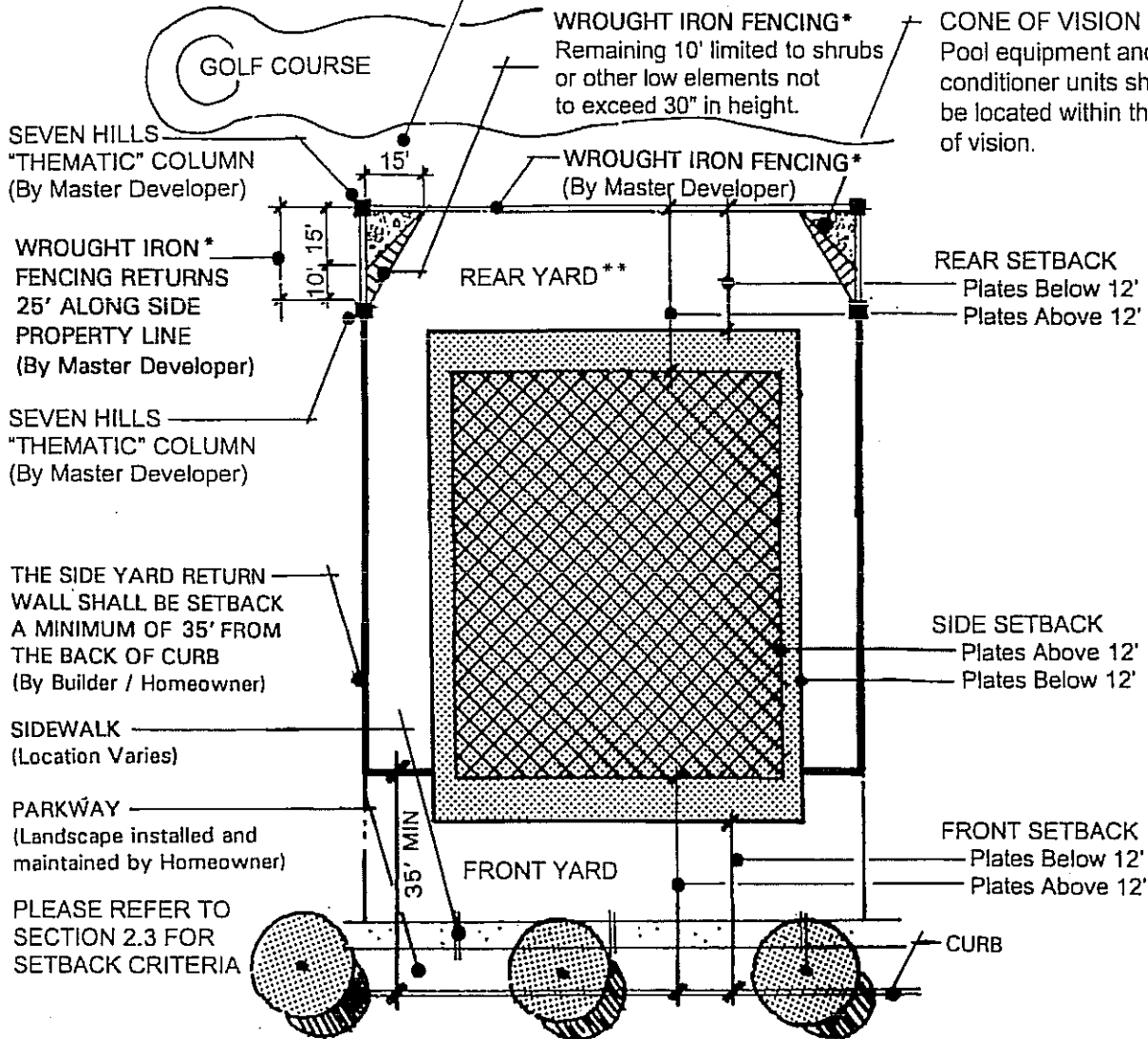
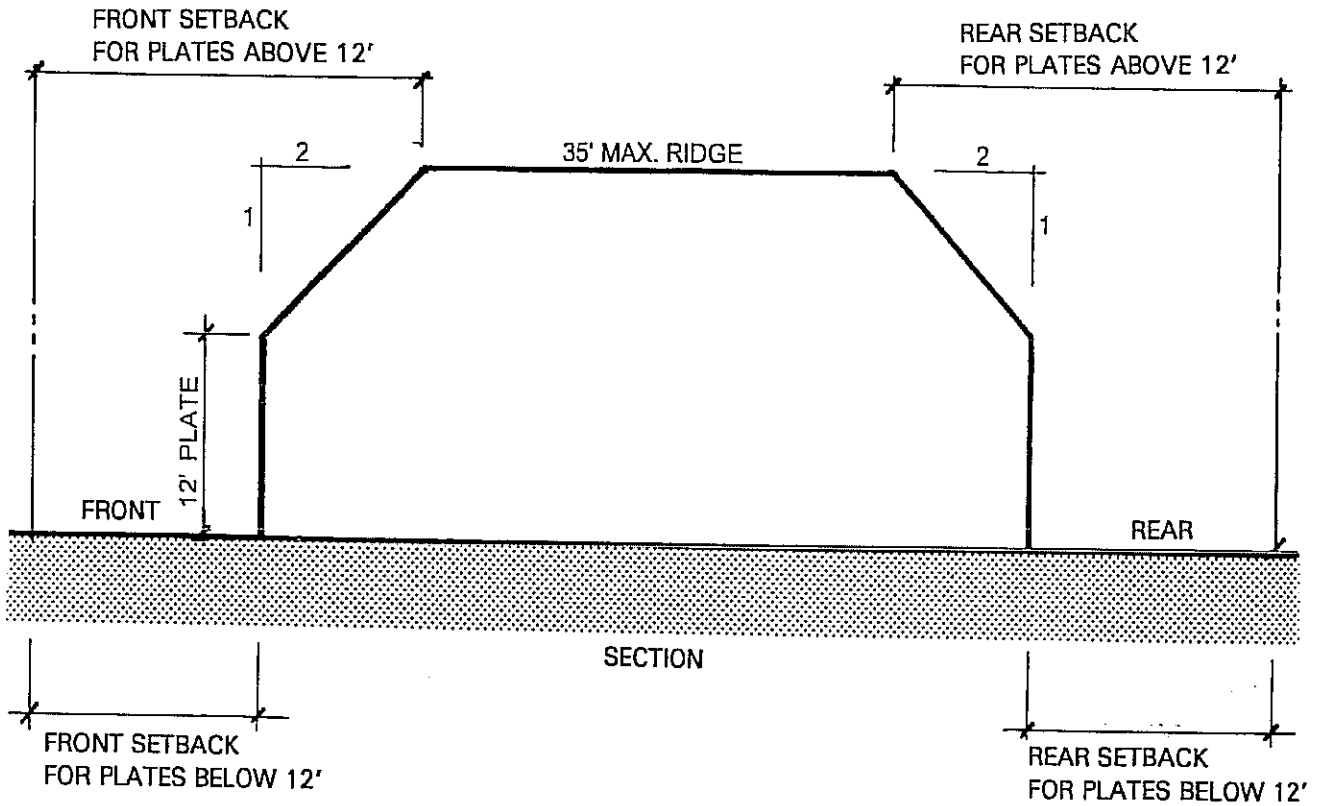


Exhibit 5

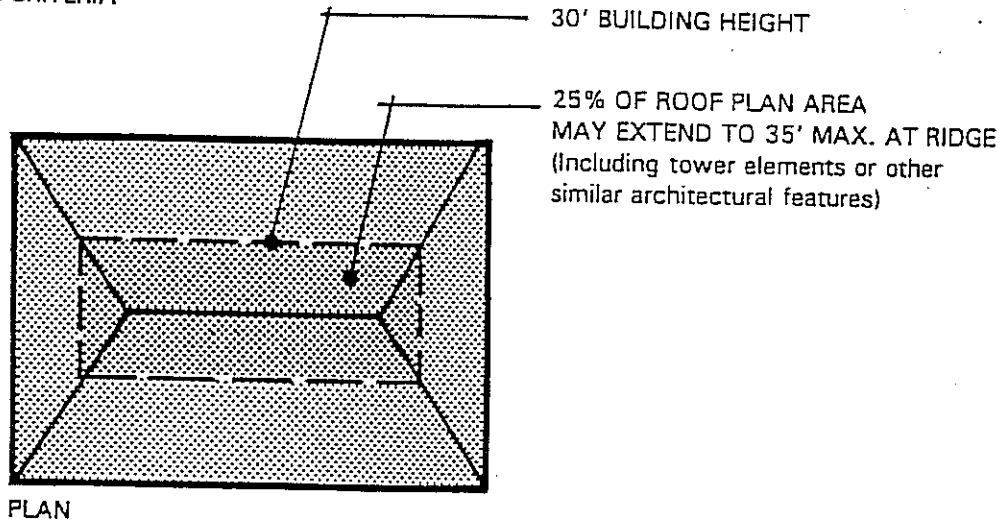
DEVELOPMENT STANDARDS – TYPICAL LOT

Seven Hills

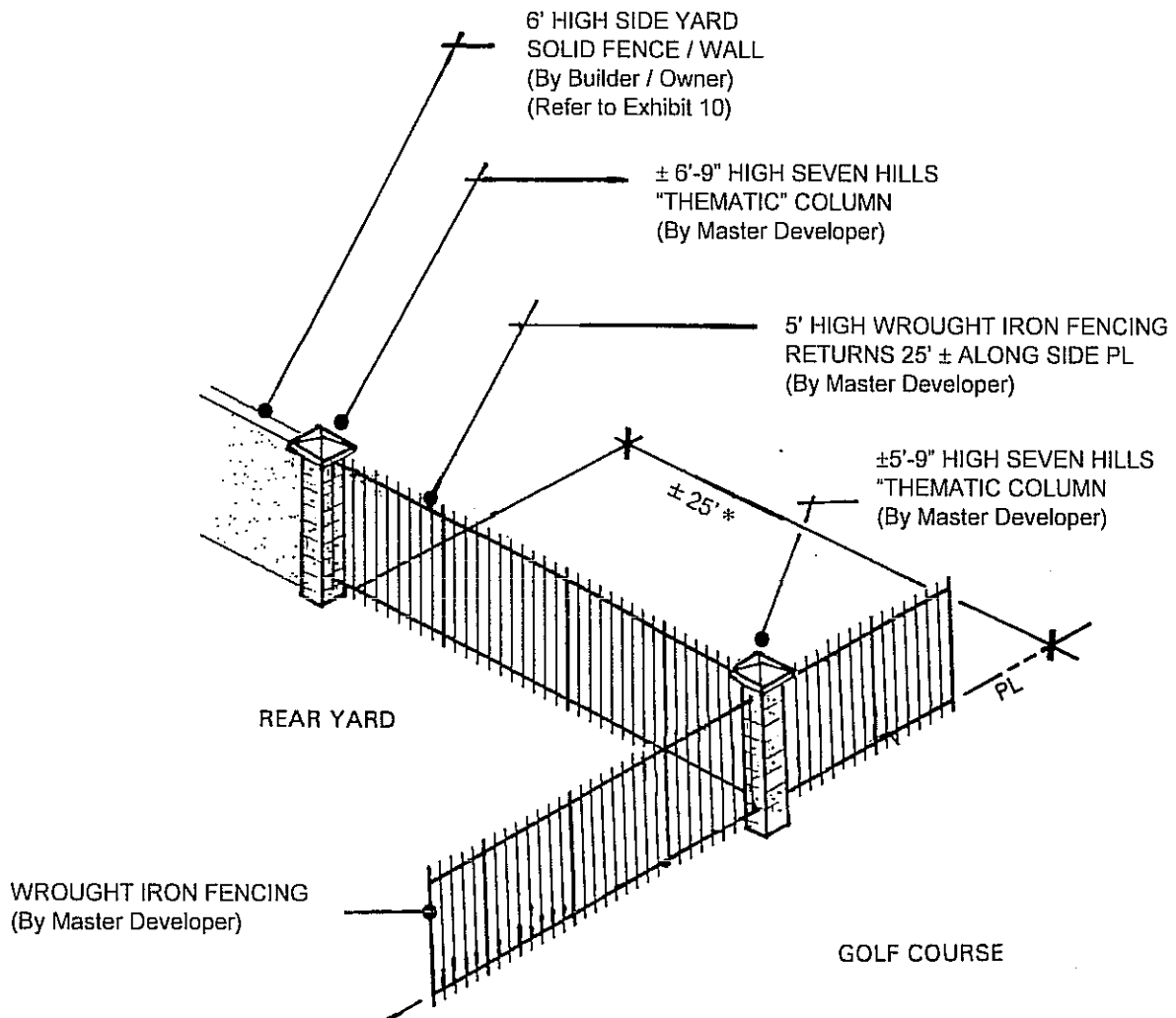
CUSTOM ESTATES DESIGN CRITERIA  
APRIL 26, 2002



PLEASE REFER TO SECTION 2.3 FOR SETBACK CRITERIA



**Exhibit 6**  
**BUILDING HEIGHT**  
**(LOTS WITH SLOPES LESS THAN 5%)**



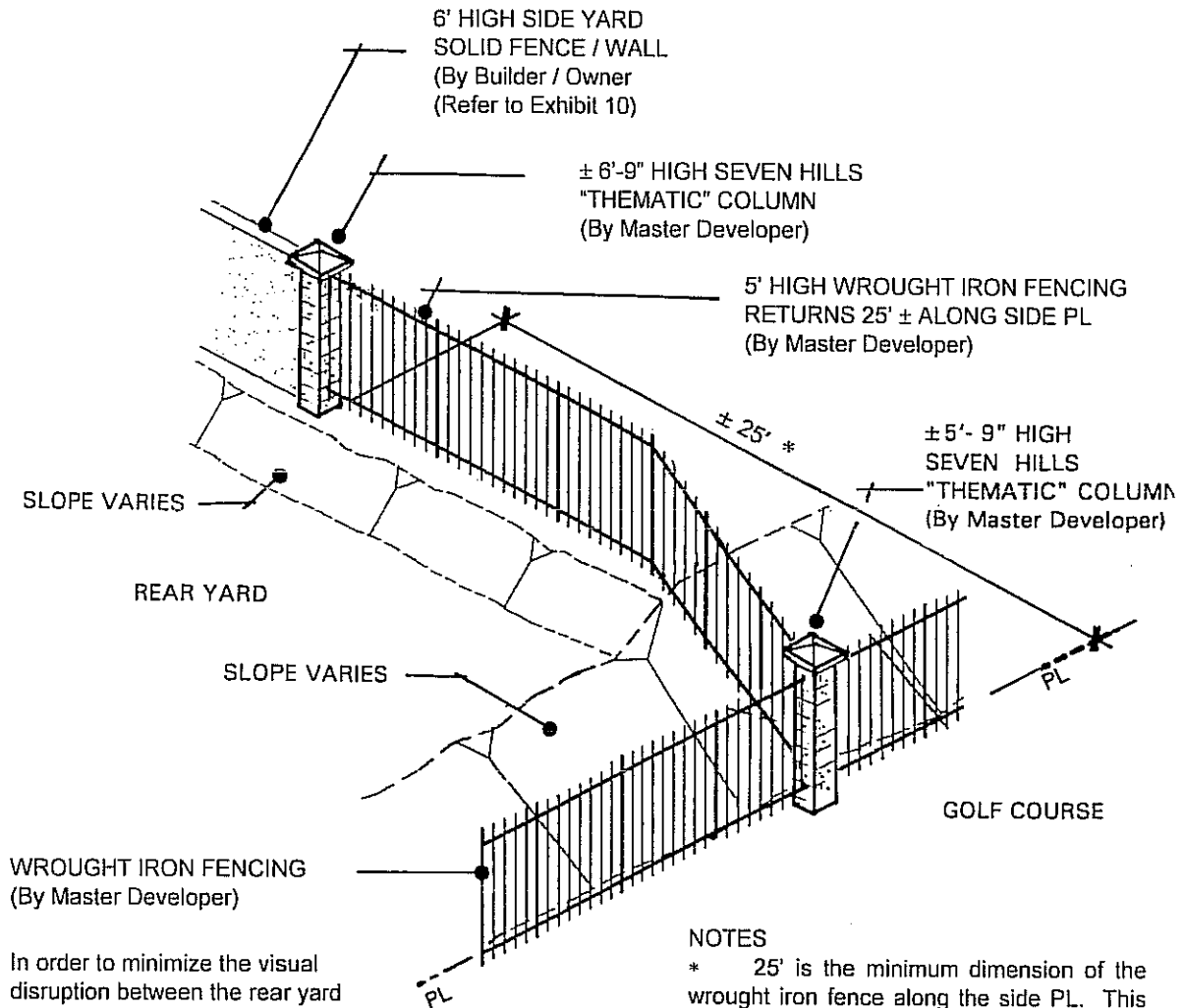
**NOTES**

\* 25' is the minimum dimension of the wrought iron fence along the side PL. This dimension may be increased at the master developers discretion and without notice.

Landscape plans must be in conformance with the landscape standards set forth in Section 4, and are subject to review and approval by the ARC.

Master Developer reserves the right to modify wall and fence details at its sole discretion and without notice.

*Exhibit 7*  
**WROUGHT IRON FENCING  
 FLAT LOTS ADJACENT TO GOLF COURSE**



In order to minimize the visual disruption between the rear yard and the adjacent golf course, the Wrought Iron fence may potentially drift down the rear slope of the lot, where feasible. The homeowner shall be responsible for the landscape and maintenance of the slope area.

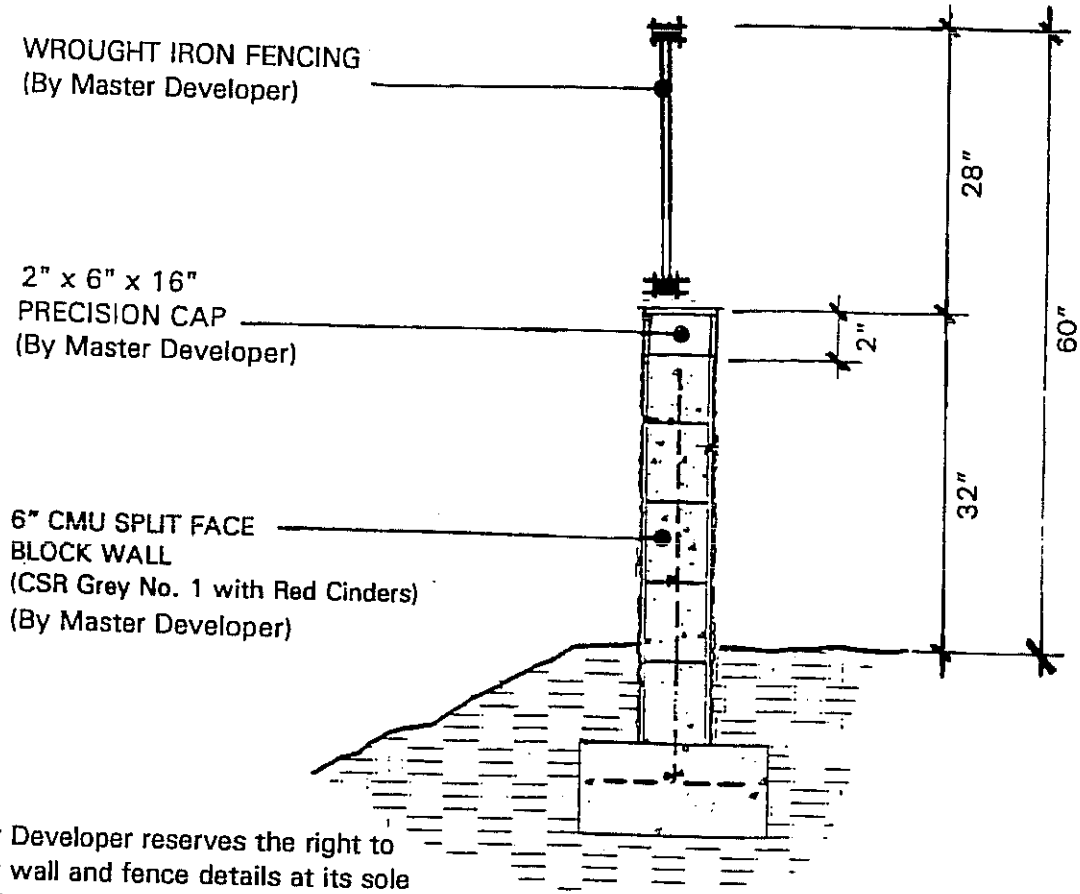
**NOTES**

\* 25' is the minimum dimension of the wrought iron fence along the side PL. This dimension may be increased at the master developers discretion and without notice.

Landscape plans must be in conformance with the landscape standards set forth in Section 4, and are subject to review and approval by the ARC.

Master Developer reserves the right to modify wall and fence details at its sole discretion and without notice.

**Exhibit 8**  
**WROUGHT IRON FENCING**  
**REAR SLOPE ADJACENT TO GOLF COURSE**



Master Developer reserves the right to modify wall and fence details at its sole discretion and without notice.

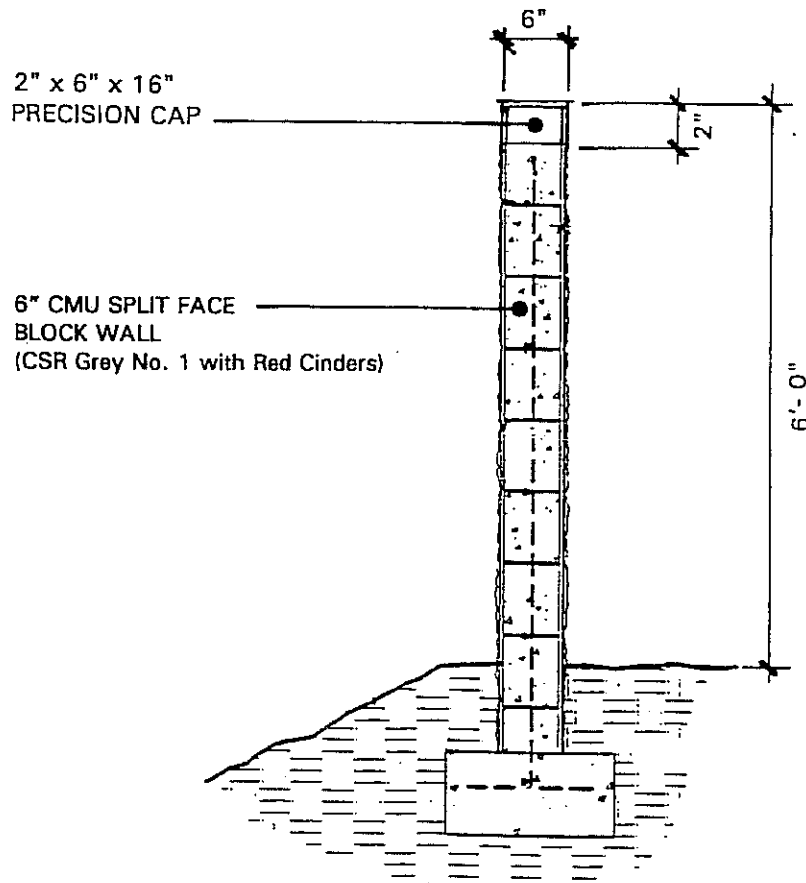
Refer to individual homeowner's structural engineer's plan for all footing and reinforcing requirements

Please refer to Civil Engineer's plan for finish grade

NOTE:

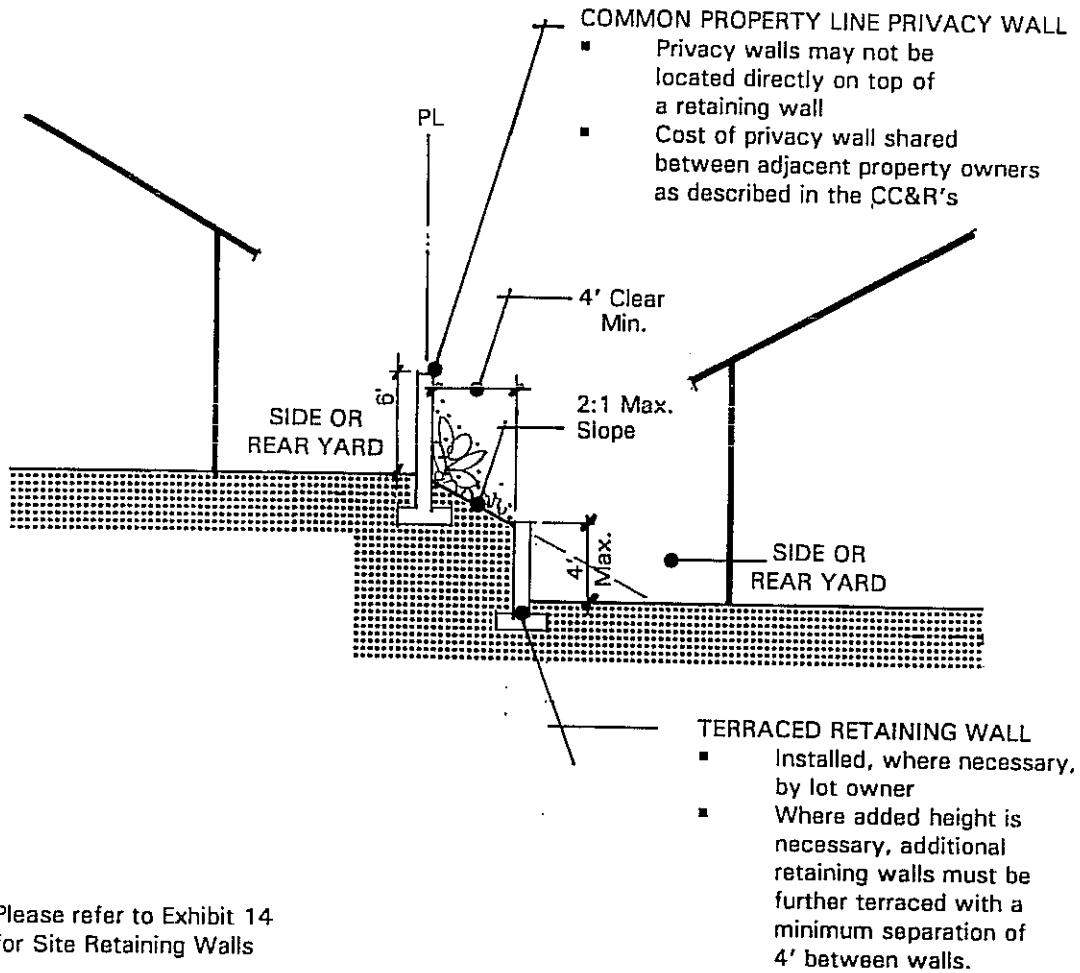
This exhibit applies to the following lots:

- Parcel N-1, Block 2, Lots 16-23
- Parcel P-1, Block 1, Lots 6-13
- Parcel P-1, Block 2, Lots 1-8
- Parcel P-1, Block 3, Lots 10-15



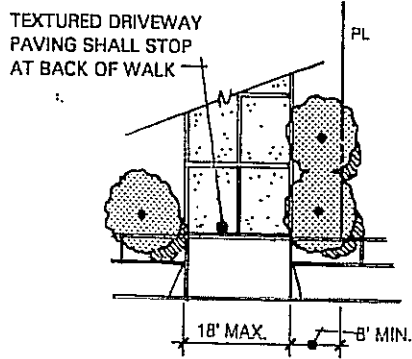
Refer to individual homeowner's  
structural engineer's plan for all  
footing and reinforcing requirements

Please refer to Civil Engineer's  
plan for finish grade

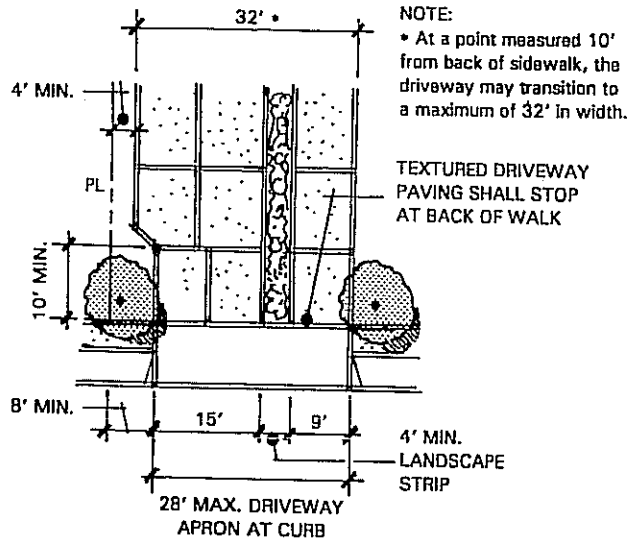


Please refer to Exhibit 14 for Site Retaining Walls

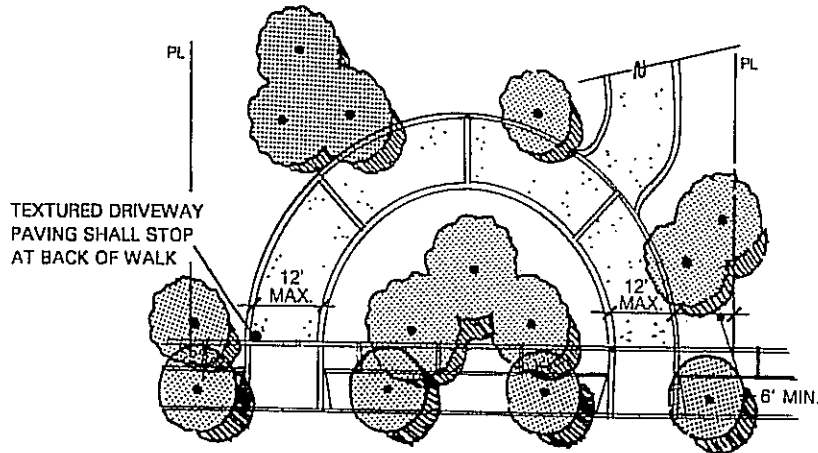
*Exhibit 11*  
**COMMON PROPERTY LINE  
 PRIVACY FENCE WITH RETAINING WALL**



2-CAR DRIVEWAY



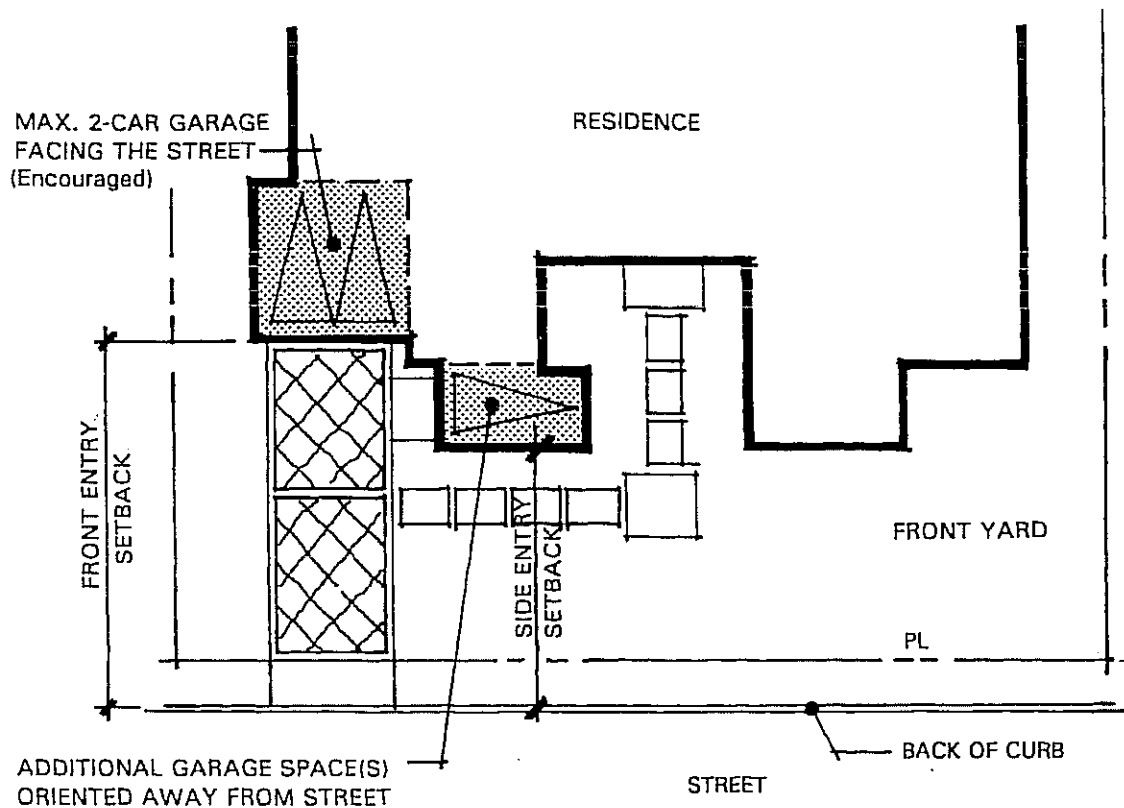
3-CAR DRIVEWAY  
(Subject to ARC Review and Approval)



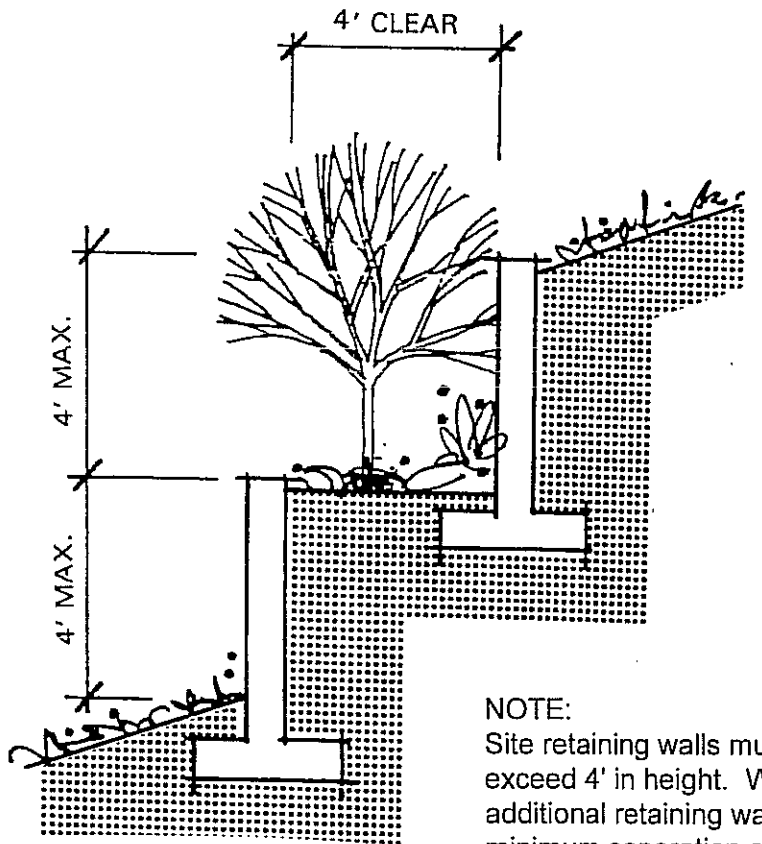
DUAL ENTRY (CIRCULAR) DRIVEWAYS



NOTE: The ARC at its sole discretion and approval may allow 3 spaces facing the street as long as the overall intent of the Design Criteria is maintained.



PLEASE REFER TO SECTION 2.3 FOR SETBACK CRITERIA

**NOTE:**

Site retaining walls must be terraced, and shall not exceed 4' in height. Where added height is necessary, additional retaining walls must be further terraced with a minimum separation of 4' between walls. The maximum height of an individual retaining wall in a terraced condition remains at 4 feet.

Please refer to Exhibit 11 for retaining conditions at common property lines.